

ROCKWALL CITY COUNCIL REGULAR MEETING

Monday, January 04, 2021 - 5:00 PM

City Hall Council Chambers - 385 Goliad St., Rockwall, TX 75087

- I. **Call Public Meeting to Order**
- II. **Executive Session.**
The City of Rockwall City Council will Recess into Executive Session to discuss the following matter as authorized by Chapter 551 of the Texas Government Code:
 1. Discussion regarding the appointment/employment process for the position of City Manager, pursuant to Section 551.074 (Personnel Matters) and 551.071 (Consultation with Attorney).
 2. Discussion regarding legal issues related to personnel matters pursuant to Section 551.071 (Consultation with Attorney).
 3. Discussion regarding appointments to city regulatory boards, commissions, and committees (Board of Adjustments 'alternates') pursuant to Section 551.074 (Personnel Matters)
- III. **Adjourn Executive Session**
- IV. **Reconvene Public Meeting (6:00 P.M.)**
- V. **Invocation and Pledge of Allegiance - Councilmember Hohenshelt**
- VI. **Open Forum**
- VII. **Take any Action as a Result of Executive Session**
- VIII. **Consent Agenda**
 1. Consider approval of the minutes from the December 21, 2020 regular City Council meeting, and take any action necessary.
 2. **Z2020-048** - Consider a request by Brenda Kennedy for the approval of an **ordinance** for a *Specific Use Permit (SUP)* allowing *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.34-acre parcel of land identified as Lot 1, Block A, Richard Harris Subdivision #5, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 701 T. L. Townsend Drive, and take any action necessary **(2nd Reading)**.
 3. **Z2020-049** - Consider a request by Sam Hernandez for the approval of an **ordinance** for a *Specific Use Permit (SUP)* allowing *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.2342-acre parcel of land identified as Lot 48 of the Canup's Subdivision, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 304 E. Bourn Street, and take any action necessary **(2nd Reading)**.
 4. **Z2020-050** - Consider a request by Perry Bowen on behalf of Kyle Bryan for the approval of an **ordinance** for a *Specific Use Permit (SUP)* allowing *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.9655-acre parcel of land identified as Lot A, Block 107, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 501 S. Clark Street, and take any action necessary **(2nd Reading)**.

5. **Z2020-052** - Consider a request by Thomas Jones of Tomden Engineering, LLP on behalf of Shanon Thomas of Rockwall Friendship Baptist Church for the approval of an **ordinance** for a *Zoning Change* from an Agricultural (AG) District to a Commercial (C) District for a 3.94-acre tract of land identified as Tract 1-8 of the J. H. Bailey Survey, Abstract No. 22, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 5651 SH-276, and take any action necessary **(2nd Reading)**.
6. **Z2020-053** - Consider a request by David Meinhardt of Meinhardt & Associates, PLLC on behalf of Ed Burke of Channell Commercial Corporation for the approval of an **ordinance** for a *Zoning Change* from a Light Industrial (LI) District to a Planned Development District for Light Industrial (LI) District land uses on an 18.762-acre parcel of land identified as Lot 2, Block A, Channell Subdivision, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 Justin Road, and take any action necessary **(2nd Reading)**.
7. **P2020-051** - Consider a request by Bryan Connally of CBG Surveying, TX LLC on behalf of SDI S. Rockwall, LLC for the approval of a *Final Plat* for Lot 1, Block A, SDI Rockwall Addition being a 0.92-acre parcel of land identified as Lot 1, Block A, Mr. M Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, situated within the Scenic Overlay (SOV) District, addressed as 2901 Ridge Road, and take any action necessary.
8. **P2020-053** - Consider a request by J. W. Jones on behalf of Lupe Guardiola for the approval of a *Replat* for Lot 1, Block I, Lake Rockwall Estates East Addition being a 0.22-acre tract of land identified as Lot 1051 and a portion of Lot 1050 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 247 Chris Drive, and take any action necessary.
9. Consider authorizing the City Manager to execute a new Administrative Directive to extend the Emergency Paid Sick Leave Act to March 31, 2021 and take any action necessary.

IX. Action Items

1. **Z2020-041** - Discuss and consider approval of an **ordinance** for a *Text Amendment* to Subsection 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] for the purpose of amending the requirements for land use and development within the *Lake Ray Hubbard Takeline*, and take any action necessary **(2nd Reading)**.
2. **Z2020-051** - Discuss and consider a request by Travis Redden for the approval of an **ordinance** for a *Specific Use Permit (SUP)* allowing *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.30-acre parcel of land identified as Lot 8, Block A, Shadydale Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single-Family 8.4 (SF-8.4) District land uses, addressed as 38 Shady Dale Lane, and take any action necessary **(2nd Reading)**.
3. Discuss and consider legislative topics for the 87th Session of the Texas Legislature, and take any action necessary.

X. City Manager's Report, Departmental Reports and related discussions pertaining to current city activities, upcoming meetings, future legislative activities, and other related matters.

1. Building Inspections Monthly Report - November 2020
2. Fire Department Monthly Report for November - 2020
3. PARC Monthly Report - November 2020
4. Police Department Monthly Report - November 2020
5. Sales Tax Historical Comparison
6. Water Consumption Historical Statistics

XI. Executive Session.

The City of Rockwall City Council will Recess into Executive Session to discuss the following matter as authorized by Chapter 551 of the Texas Government Code:

1. Discussion regarding the appointment/employment process for the position of City Manager, pursuant to Section 551.074 (Personnel Matters) and 551.071 (Consultation with Attorney).
2. Discussion regarding legal issues related to personnel matters pursuant to Section 551.071 (Consultation with Attorney).
3. Discussion regarding appointments to city regulatory boards, commissions, and committees (Board of Adjustments 'alternates') pursuant to Section 551.074 (Personnel Matters)

XII. Reconvene Public Meeting & Take Any Action as Result of Executive Session

XIII. Adjournment

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 771-7700 or FAX (972) 771-7727 for further information.

The City of Rockwall City Council reserves the right to adjourn into executive session at any time to discuss any of the matters listed on the agenda above, as authorized by Texas Government Code ¶ 551.071 (Consultation with Attorney) ¶ 551.072 (Deliberations about Real Property) ¶ 551.074 (Personnel Matters) and ¶ 551.087 (Economic Development)

I, Kristy Cole, City Secretary for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 31st day of December 2020 at 4 p.m. and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

Kristy Cole, City Secretary
or Margaret Delaney, Asst. to the City Sect.

Date Removed

ROCKWALL CITY COUNCIL REGULAR MEETING

Monday, December 21, 2020 - 4:00 PM

City Hall Council Chambers - 385 Goliad St., Rockwall, TX 75087

I. CALL PUBLIC MEETING TO ORDER

Mayor Pruitt called the meeting to order at 4:00 p.m. Present were Mayor Jim Pruitt, Mayor Pro Tem Kevin Fowler, and Council Members Anna Campbell, Dana Macalik, John Hohenshelt, and Bennie Daniels. Also present were City Manager Rick Crowley, Assistant City Managers Joey Boyd and Mary Smith and City Attorney Frank Garza. Councilmember Trace Johannesen was absent from the first part of Ex. Session but joined (in person) at 5:25 p.m. Mayor Pruitt read the below listed discussion items into the public record before recessing the meeting to go back in Executive Session at 4:01 p.m.

II. EXECUTIVE SESSION.

THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS THE FOLLOWING MATTER AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT CODE:

1. Discussion regarding the appointment/employment process for the position of City Manager, pursuant to Section 551.074 (Personnel Matters) and 551.071 (Consultation with Attorney).
2. Discussion regarding possible legal issues related to Airport pursuant to Section 551.071 (Consultation with Attorney).
3. Discussion regarding legal issues related to personnel matters pursuant to Section 551.071 (Consultation with Attorney).
4. **Pulled from Public Mtg. Agenda (pursuant to Section 551.071 (Consultation with Attorney))- Z2020-051** - Hold a public hearing to discuss and consider a request by Travis Redden for the approval of an ordinance for a Specific Use Permit (SUP) allowing *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.30-acre parcel of land identified as Lot 8, Block A, Shadydale Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single-Family 8.4 (SF-8.4) District land uses, addressed as 38 Shady Dale Lane, and take any action necessary (**1st Reading**).

III. ADJOURN EXECUTIVE SESSION

Council adjourned from Executive Session at 5:58 p.m.

IV. RECONVENE PUBLIC MEETING (6:00 P.M.)

Mayor Pruitt reconvened the public meeting at 6:00 p.m.

V. INVOCATION AND PLEDGE OF ALLEGIANCE - COUNCILMEMBER MACALIK

Councilmember Macalik delivered the invocation and led the Pledge of Allegiance.

VI. PROCLAMATIONS / AWARDS & OPEN FORUM

Mayor Pruitt called forth Fire Chief, Kenneth Cullins and City of Rockwall Streets Crew Leader, Ricky Castillo. Mr. Castillo was then presented with a "Life Saving Award."

Mayor Pruitt then explained how Open Forum is conducted, asking if anyone would like to come forth and speak at this time. There being no one indicating such, he then closed Open Forum.

VII. TAKE ANY ACTION AS A RESULT OF EXECUTIVE SESSION

No action was taken as a result of Ex. Session.

VIII. CONSENT AGENDA

1. Consider approval of the minutes from the December 7, 2020 regular City Council meeting, and take any action necessary.
2. **P2020-047** - Consider a request by Pat Atkins of KPA Consulting on behalf of Pat Atkins of CDT Rockwall 2017, LLC for the approval of a Preliminary Plat for Phase 3 of the Saddle Star Subdivision consisting of 33 single-family residential lots on a 14.995-acre tract of land identified as Tract 1-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east side of John King Boulevard northeast of the intersection of John King Boulevard and Featherstone Drive, and take any action necessary.

Councilmember Hohenshelt moved to approve the Consent Agenda as presented (#s 1 and 2). Councilmember Macalik seconded the motion, which passed by a vote of 7 ayes to 0 nays.

IX. PUBLIC HEARING ITEMS

1. **Z2020-041** - Hold a public hearing to discuss and consider approval of an **ordinance** for a Text Amendment to Subsection 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] for the purpose of amending the requirements for land use and development within the *Lake Ray Hubbard Takeline*, and take any action necessary (**1st Reading**).

Mayor Pruitt began discussion of this item. He requested that the item be broken up into two, separate matters – the text amendment to the Code and the fees. He indicated that he would like to do this because both he and Mayor Pro Tem Fowler (live along the takeline and therefore) have a conflict of interest when considering the lowering of fees paid by homeowners associated with takeline. So, the two of them will be recusing themselves.

Planning Director, Ryan Miller provided background information pertaining to this agenda item. The purpose of this item is to provide clear requirements regarding land uses, building materials and construction standards in the takeline. This item changes the way that view corridors are measured / calculated. Also, it has been determined that the lease fees can be reduced. Lastly, the requirements associated with sea walls are being proposed for modification. The Planning & Zoning Commission has recommended approval of this item by a vote of 7 to 0. Proper public notice was also published in the Herald Banner newspaper and online.

Mayor Pruitt opened the public hearing, asking if anyone would like to come forth and speak at this time. There being no one indicating such, he then closed the public hearing.

Councilmember Johannesen moved to approve Z2020-041 (the ordinance re: the text amendments, less the fee schedule). Councilmember Hohenshelt seconded the motion. The ordinance was read as follows:

**CITY OF ROCKWALL
ORDINANCE NO. 21-XX**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING SECTION 06.15, LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT, AND CREATING SECTION 07.05, LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT DEVELOPMENT STANDARDS, OF ARTICLE 05, DISTRICT DEVELOPMENT STANDARDS, AS DEPCITED IN EXHIBIT 'A' AND EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

The motion passed by a vote of 7 ayes to 0 nays.

Mayor Pruitt and Mayor Pro Tem Fowler recused themselves from the “fee schedule” portion of this agenda item. Councilmember Daniels asked if anyone has any objection to the proposed fees, either in the audience or on the City Council. There being no one indicating such, Councilmember Macalik moved to accept the fee schedule, as proposed. Councilmember Campbell seconded the motion. The motion passed by a vote of 5 ayes with 2 recusals (Pruitt and Fowler).

2. **Z2020-048** - Hold a public hearing to discuss and consider a request by Brenda Kennedy for the approval of an **ordinance** for a *Specific Use Permit (SUP)* allowing *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.34-acre parcel of land identified as Lot 1, Block A, Richard Harris Subdivision #5, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 701 T. L. Townsend Drive, and take any action necessary (**1st Reading**).

Planning Director, Ryan Miller provided background information pertaining to this agenda item. He shared that 47 notice were sent out to adjacent property owners and residents located within 500'. Staff received four emails and 3 notices in opposition of the request. The P&Z Commission has recommended approval of this request by a vote of 6 ayes to 1 nay (Conway dissenting).

Brenda Kennedy
1630 Shores Boulevard
Rockwall, TX

Mrs. Kennedy came forth and shared that this is going to be her retirement home. She has lived in Rockwall for more than 30 years. She respectfully asked that the Council approve her request.

Mayor Pruitt opened the public hearing. There being no one indicating a desire to speak during the public hearing, Mayor Pruitt closed the public hearing.

Following brief discussion, Councilmember Macalik moved to approve Z2020-048. Councilmember Campbell seconded the motion. The ordinance was read as follows:

**CITY OF ROCKWALL
ORDINANCE NO. 21-XX
SPECIFIC USE PERMIT NO. S-2XX**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.34-ACRE TRACT OF LAND, IDENTIFIED AS LOT 1, BLOCK A, RICHARD HARRIS SUBDIVISION #5, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

The motion passed by a vote of 7 ayes to 0 nays.

3. **Z2020-049** - Hold a public hearing to discuss and consider a request by Sam Hernandez for the approval of an **ordinance** for a *Specific Use Permit (SUP)* allowing *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.2342-acre parcel of land identified as Lot 48 of the Canup's Subdivision, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 304 E. Bourn Street, and take any action necessary (**1st Reading**).

Planning Director Ryan Miller provided background information pertaining to this agenda item. Notices were sent out (108 notices) to adjacent land and property owners; however, none were received back by staff. The Planning & Zoning Commission has recommended approval of this agenda item.

Mayor Pruitt opened the public hearing, asking if anyone would like to come forth and speak at this time. There being no one indicating such, he then closed the public hearing.

Councilmember Hohenshelt moved to approve Z2020-049. Councilmember Daniels seconded the motion. The ordinance caption was read as follows:

CITY OF ROCKWALL
ORDINANCE NO. 21-XX
SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.2342-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 48, CANUP ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

The motion passed by a vote of 7 ayes to 0 nays.

4. **Z2020-050** - Hold a public hearing to discuss and consider a request by Perry Bowen on behalf of Kyle Bryan for the approval of an ordinance for a *Specific Use Permit (SUP)* allowing *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.9655-acre parcel of land identified as Lot A, Block 107, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 501 S. Clark Street, and take any action necessary (1st Reading).

Planning Director, Ryan Miller provided background information pertaining to this agenda item. The applicant is proposing to construct a single family home. It meets all the requirements except that the garage is on the front façade of the home, and it does not meet setback requirements. Notices were sent out to 87 adjacent property owners and residents, and one notice was received back in favor of the request. The Park Place Homeowners Association was also notified. The Planning & Zoning Commission has recommended approval of this request by a vote of 7 to 0.

Mayor Pruitt opened the public hearing, asking if anyone would like to come forth and speak at this time. There being no one indicating such, he then closed the Public Hearing.

Councilmember Hohenshelt moved to approve Z2020-050. Councilmember Macalik seconded the motion. The ordinance was read as follows:

CITY OF ROCKWALL
ORDINANCE NO. 21-XX
SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF

ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.9655-ACRE PARCEL OF LAND, IDENTIFIED AS LOT A, BLOCK 107, B.F. BOYDSTON ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

The motion passed by a vote of 7 ayes to 0 nays.

5. **Z2020-051** - Hold a public hearing to discuss and consider a request by Travis Redden for the approval of an ordinance for a *Specific Use Permit (SUP)* allowing *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.30-acre parcel of land identified as Lot 8, Block A, Shadydale Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single-Family 8.4 (SF-8.4) District land uses, addressed as 38 Shady Dale Lane, and take any action necessary (**1st Reading**).

Planning Director, Ryan Miller, provided background information pertaining to this agenda item. Council is being asked to consider if this proposed home is architecturally and visually similar to the existing homes within this established subdivision. Notices were sent out (81 of them) to property owners and residents located within 500' of the property. One notice was received back in favor, and 16 notices were received back in opposition. Also, nearby homeowner's associations were also notified. The Planning and Zoning Commission did recommend approval of this item by a vote of 6 ayes to 1 nay with Commissioner Conway dissenting.

Mayor Pruitt pointed out that recently, the Texas State Legislature removed certain powers from cities, so the city can no longer regulate building materials. The City can consider style and design in the context of 'if it fits in' with the surrounding area; however, the city cannot regulate the building materials (i.e. the proposed use of 'hardy board').

Chelsea and Travis Redden
1115 Concan Drive
Forney, TX

Mrs. and Mr. Redden went on to provide a lengthy PowerPoint presentation regarding her and her husband's proposed custom home.

Following the Redden's presentation and comments, Mayor Pruitt opened up the public hearing, asking if anyone would like to come forth and speak regarding this public hearing item. There being no one indicating such, he then closed the Public Hearing.

Councilmember Johannesen expressed concerns specifically related to the style and design.

Councilmember Hohenshelt moved to approve Z2020-051. Councilmember Campbell seconded the motion. Following brief comments, the ordinance was read as follows:

**CITY OF ROCKWALL
ORDINANCE NO. 21-XX
SPECIFIC USE PERMIT NO. S-2XX**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 9 (PD-9) AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.30-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 8, BLOCK A, SHADYDALE ESTATES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

The motion passed by a vote of 5 ayes with 2 nays (Johannesen and Pruitt).

6. **Z2020-052** - Hold a public hearing to discuss and consider a request by Thomas Jones of Tomden Engineering, LLP on behalf of Shanon Thomas of Rockwall Friendship Baptist Church for the approval of an ordinance for a Zoning Change from an Agricultural (AG) District to a Commercial (C) District for a 3.94-acre tract of land identified as Tract 1-8 of the J. H. Bailey Survey, Abstract No. 22, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 5651 SH-276, and take any action necessary (**1st Reading**).

Planning Director Ryan Miller provided background information pertaining to this agenda item. A metal building that is operating as a 'house of worship' currently exists on this property. The applicant would like to expand the facility and add a parking lot. All areas adjacent to this property are zoned for "Commercial-Retail" land uses. Thirteen notices were sent out to adjacent land / property owners within 500' of the subject property; however, staff did not receive any notices in return.

Mayor Pruitt opened the public hearing. There being no one wishing to come forth and speak, the then closed the public hearing.

Councilmember Hohenshelt moved to approve Z2020-052. Councilmember Campbell seconded the motion. The ordinance caption was read as follows:

**CITY OF ROCKWALL
ORDINANCE NO. 21-XX**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO A COMMERCIAL (C) DISTRICT ON A 3.94-ACRE TRACT OF LAND IDENTIFIED AS TRACT 1-8 OF THE J. H. BAILEY SURVEY, ABSTRACT NO. 22, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DEPICTED IN *EXHIBIT 'A'* AND FURTHER DESCRIBED IN *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

The motion passed by a vote of 7 ayes to 0 nays.

7. **Z2020-053** - Hold a public hearing to discuss and consider a request by David Meinhardt of Meinhardt & Associates, PLLC on behalf of Ed Burke of Channell Commercial Corporation for the approval of an ordinance for a Zoning Change from a Light Industrial (LI) District to a Planned Development District for Light Industrial (LI) District land uses on an 18.762-acre parcel of land identified as Lot 2, Block A, Channell Subdivision, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 Justin Road, and take any action necessary (**1st Reading**).

Planning Director, Ryan Miller, provided background information pertaining to this agenda item. On November 18, 2020, staff mailed 13 notices to property owners and occupants within 500-feet of the subject property. There were no Homeowner's Associations (HOA's) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Staff has not received any notices back (neither in opposition nor in favor) pertaining to this case. The P&Z Commission has recommended approval of this case by a vote of 7 ayes to 0 nays.

Mayor Pruitt opened the public hearing. The applicant came forth briefly:

Mr. Meinhardt
14643 Dallas Parkway
Dallas, TX

Mr. Meinhardt came forth and shared that he is happy to answer any questions the Council may have. However, none were asked.

There being no one else wishing to come forth and speak, he then closed the public hearing.

Mayor Pruitt moved to approve Z2020-053. Mayor Pro Tem Fowler seconded the motion. The ordinance caption was read as follows:

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM A LIGHT INDUSTRIAL (LI) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR LIGHT INDUSTRIAL (LI) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 18.762-ACRE PARCEL OF LAND IDENTIFIED AS LOT 3, BLOCK A, CHANNELL SUBDIVISION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'* AND DEPICTED HEREIN BY *EXHIBIT 'B'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

The motion passed by a vote of 7 ayes to 0 nays.

Mayor Pruitt called for a break at 7:31 p.m.

Mayor Pruitt reconvened the meeting at 7:43 p.m.

- 8. Z2020-054 - Hold a public hearing to discuss and consider a request by Corky Belanger for the approval of an ordinance for a *Specific Use Permit (SUP)* allowing an accessory structure on a 0.161-acre parcel of land identified as Lot 9, Block C, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 707 Parks Avenue, and take any action necessary (**1st Reading**).**

Planning Director Ryan Miller provided background information pertaining to this agenda item. 115 notices were sent out to property owners and residents located within 500' of the property. One notice was received back in favor and none were received in opposition. The Planning & Zoning Commission has recommended denial of this request by a vote of 7 to 0. Therefore, if it is to be approved by Council this evening, it will require a super majority vote for approval.

Mayor Pruitt opened the public hearing, asking if anyone would like to come forth and speak. There being no one indicating such, he then closed the Public Hearing.

Councilmember Hohenshelt moved to deny Z2020-054. Councilmember Johannesen seconded the motion. Following brief comments, the motion to deny passed by a vote of 7 ayes to 0 nays.

X. ACTION ITEMS

- 1. Discuss and consider a request related to the naming of the swimming pool located at Gloria Williams Park, and take any action necessary.**

Mayor Pruitt moved this item up on the agenda, asking if anyone in the audience would like to come forth and speak regarding this topic.

**Shirley Williams
706 Davey Crockett
Rockwall, TX 75087**

Mrs. Williams came forth and shared that she is Gloria Williams' sister. She shared that the Williams family previously submitted a letter expressing the family's opinion about the request to name the swimming pool after Ruby Dabney. She went on to generally state that she and her family are in opposition of the swimming pool being named after Ms. Dabney. She expressed that sister Dabney did nothing towards the park or the swimming pool, and she stated that she knows this to be true because she personally was there / was present. She respectfully requested that the pool be kept 'as is' and that it not be named after Dabney.

**Cheryl Gray
549 Frontier Boulevard
Mesquite, TX**

Ms. Gray came forth and shared that she is the daughter of Ms. Shirley Williams who just spoke, and she is the niece of the late Mrs. Gloria Williams. She expressed that she and her family did write the "anonymous" letter of opposition regarding the request to name the swimming pool after Mrs. Dabney. She generally expressed opposition to the swimming pool being named. She respectfully requested that the Council leave the swimming pool 'as is' and NOT name it after Mrs. Dabney.

There being no one else wishing to come forth and speak regarding this agenda item, Mayor Pruitt opened the floor for discussion by council members.

Mayor Pro Tem Fowler made a motion to accept the Park Board's recommendation for erecting a plaque in honor of Ruby Dabney to be placed at the swimming pool. Councilmember Johannesen seconded the motion.

Councilmember Daniels provided brief, high compliments about the late Mrs. Gloria Williams and her character as a respected, honorable activist within the Rockwall Community. He went on to express his belief that the Park Board got it right, and he will support the motion.

The motion passed unanimously of those present (7 ayes to 0 nays).

- 2. MIS2020-016** - Discuss and consider a request by Charles Smith of Pentagon on behalf of Dynacap Holdings Limited for the approval of a Miscellaneous Request for a variance to the proximity requirements for the sale of alcoholic beverages stipulated by the Unified Development Code (UDC) for a 2.202-acre tract of land identified as Tract 12 of the A. Hanna Survey, Abstract No. 99, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH30 Overlay (IH-30 OV) District, addressed as 1541 E. IH-30, and take any action necessary.

Planning Director, Ryan Miller provided brief background pertaining to this agenda item. This item came before Council at a previous meeting. At that time, the applicant was asked to seek a letter from the church that currently occupies part of the space at this location to give indication that the church has no opposition to the request. The applicant has obtained said letter. Following brief discussion, Councilmember Johannesen moved to approve MIS 2020-016. Councilmember Hohenshelt seconded the motion, which passed by a vote of 7 ayes to 0 nays.

3. Discuss and consider the Rockwall Police Department's strategic plan, and take any action necessary.

Rockwall Police Chief, Max Geron came forth and addressed Council concerning this agenda item. He generally shared that input from various levels within the police department was sought and taken into consideration when drafting this strategic plan. He went on to share a broad overview of the six goals contained within the proposed plan. He thanked Councilmember Hohenshelt for his input pertaining to development of this plan.

Mayor Pruitt thanked Chief Geron for this presentation. He went on to read a recent letter that a past "Police Explorers" program participant wrote to Sgt. Brassil concerning him being accepted into several, noteworthy universities and associated scholarships that he has been offered.

Council took no formal action pertaining to this agenda item.

4. Discuss and consider submission of future transportation-related projects to the Rockwall County Roadway Consortium, and take any action necessary.

City Manager, Rick Crowley provided information to Council pertaining to this agenda item. Council generally indicated agreement with the projects that staff included in the council meeting packet for submission to the countywide roadway consortium. However, no formal action was taken as a result of this discussion item.

XI. CITY MANAGER'S REPORT, DEPARTMENTAL REPORTS AND RELATED DISCUSSIONS PERTAINING TO CURRENT CITY ACTIVITIES, UPCOMING MEETINGS, FUTURE LEGISLATIVE ACTIVITIES, AND OTHER RELATED MATTERS.

XII. EXECUTIVE SESSION.

THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS THE FOLLOWING MATTER AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT CODE:

1. Discussion regarding the appointment/employment process for the position of City Manager, pursuant to Section 551.074 (Personnel Matters) and 551.071 (Consultation with Attorney).
2. Discussion regarding possible legal issues related to Airport pursuant to Section 551.071 (Consultation with Attorney).
3. Discussion regarding legal issues related to personnel matters pursuant to Section 551.071 (Consultation with Attorney).

XIII. RECONVENE PUBLIC MEETING & TAKE ANY ACTION AS RESULT OF EXECUTIVE SESSION

Council did not convene in Ex. Session following the close of the public meeting agenda.

XIV. ADJOURNMENT

City Manager Rick Crowley indicated that he is retiring on January 31, and he is retiring 'happy.' He is grateful for his years of service to the City, and he thanked the mayor, council and staff for the opportunity to serve the City over the years.

Regarding Reese Manor, Mr. Crowley indicated that the city's Mayor appoints members of the Rockwall Housing Authority (RHA) Board of Directors, and that board oversees this facility. The facility has received its first positive COVID-19 test. The city will be extending an opportunity to each of the approximately 150 residents to be tested. Each test costs approximately \$150.

Mayor Pruitt adjourned the meeting at 8:19 p.m.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS 4th DAY OF JANUARY, 2021.

JIM PRUITT, MAYOR

ATTEST:

KRISTY COLE, CITY SECRETARY

CITY OF ROCKWALL

ORDINANCE NO. 21-02

SPECIFIC USE PERMIT NO. S-238

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.34-ACRE TRACT OF LAND, IDENTIFIED AS LOT 1, BLOCK A, RICHARD HARRIS SUBDIVISION #5, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Brenda Kennedy for the approval of a Specific Use Permit (SUP) for *Residential Infill adjacent to Established Subdivision* to allow the construction of a single-family home on a 0.34-acre tract of land being described as Lot 1, Block A, Richard Harris Subdivision #5, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 701 T.L. Townsend Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill adjacent to Established Subdivision* to allow for the construction of a single-family home adjacent to established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and

with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4TH DAY OF JANUARY, 2021.**

Jim Pruitt, Mayor

ATTEST:

Kristy Cole, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: December 21, 2020

2nd Reading: January 4, 2021

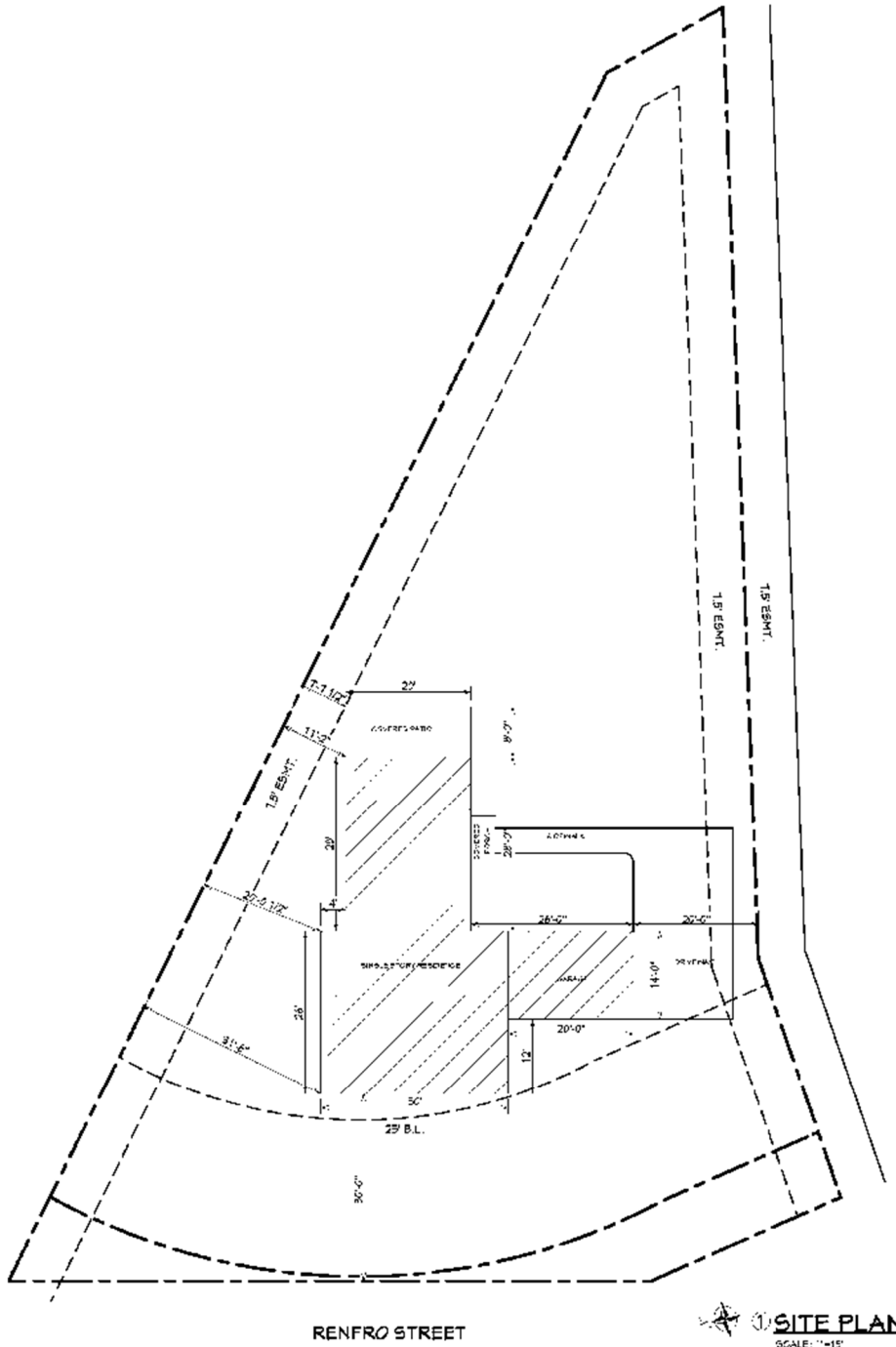
Exhibit 'A'
Location Map and Survey

Address: 701 N. Townsend Drive

Legal Description: Lot 1, Block A, Richard Harris Subdivision #5

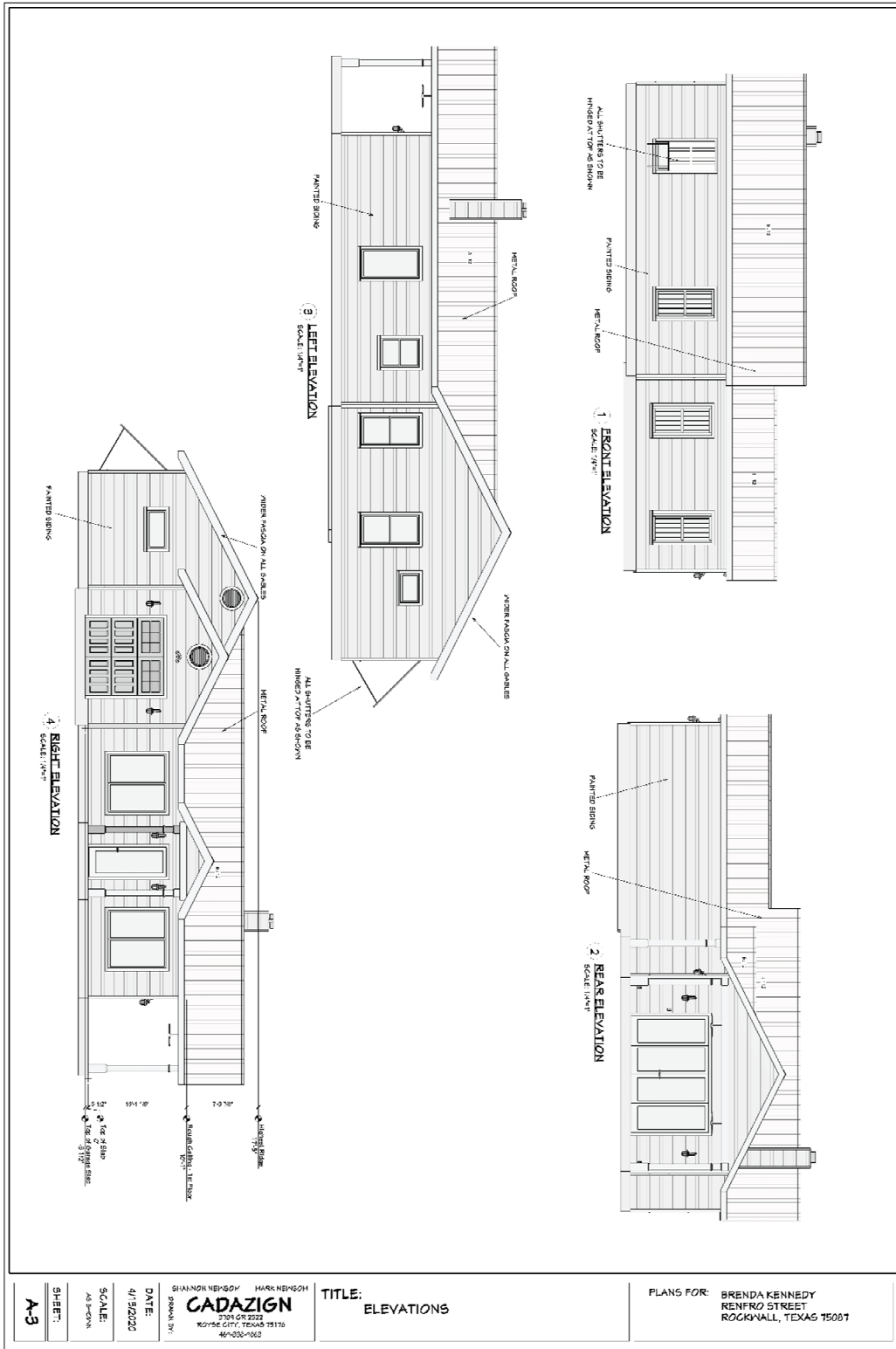


**Exhibit 'B':
Residential Plot Plan**



- NOTE:**
1. TOPOGRAPHICAL INFORMATION SUPPLIED BY A THIRD PARTY. GADAZIGN IS NOT RESPONSIBLE FOR ANY TOPOGRAPHICAL OR SURVEY INFORMATION. ALL MEASUREMENTS SHOULD BE FIELD VERIFIED. MEASUREMENTS ARE APPROXIMATE AND ARE FOR LAYOUT PURPOSES ONLY.
 2. OWNER AND BUILDER ARE RESPONSIBLE FOR VERIFYING ALL PROPERTY SETBACKS, RESTRICTIONS, AND ELEVATION MEASUREMENTS.
 3. OWNER AND OR BUILDER RESPONSIBLE FOR DETERMINING AND DESIGNING RETAINING WALLS AND STRUCTURAL STEM WALLS

Exhibit 'C': Building Elevations



CITY OF ROCKWALL

ORDINANCE NO. 21-03

SPECIFIC USE PERMIT NO. S-239

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.2342-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 48, CANUP ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Sam Hernandez for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.2342-acre parcel of land being described as Lot 48, Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Neighborhood Residential (SRO) Overlay, addressed as 304 E. Bourn Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] and the Southside Overlay District of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code

(UDC) [*Ordinance No. 20-02*] and to the requirements set forth in the Southside Overlay District - as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4TH DAY OF JANUARY, 2021.**

Jim Pruitt, Mayor

ATTEST:

Kristy Cole, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: December 21, 2020

2nd Reading: January 4, 2021

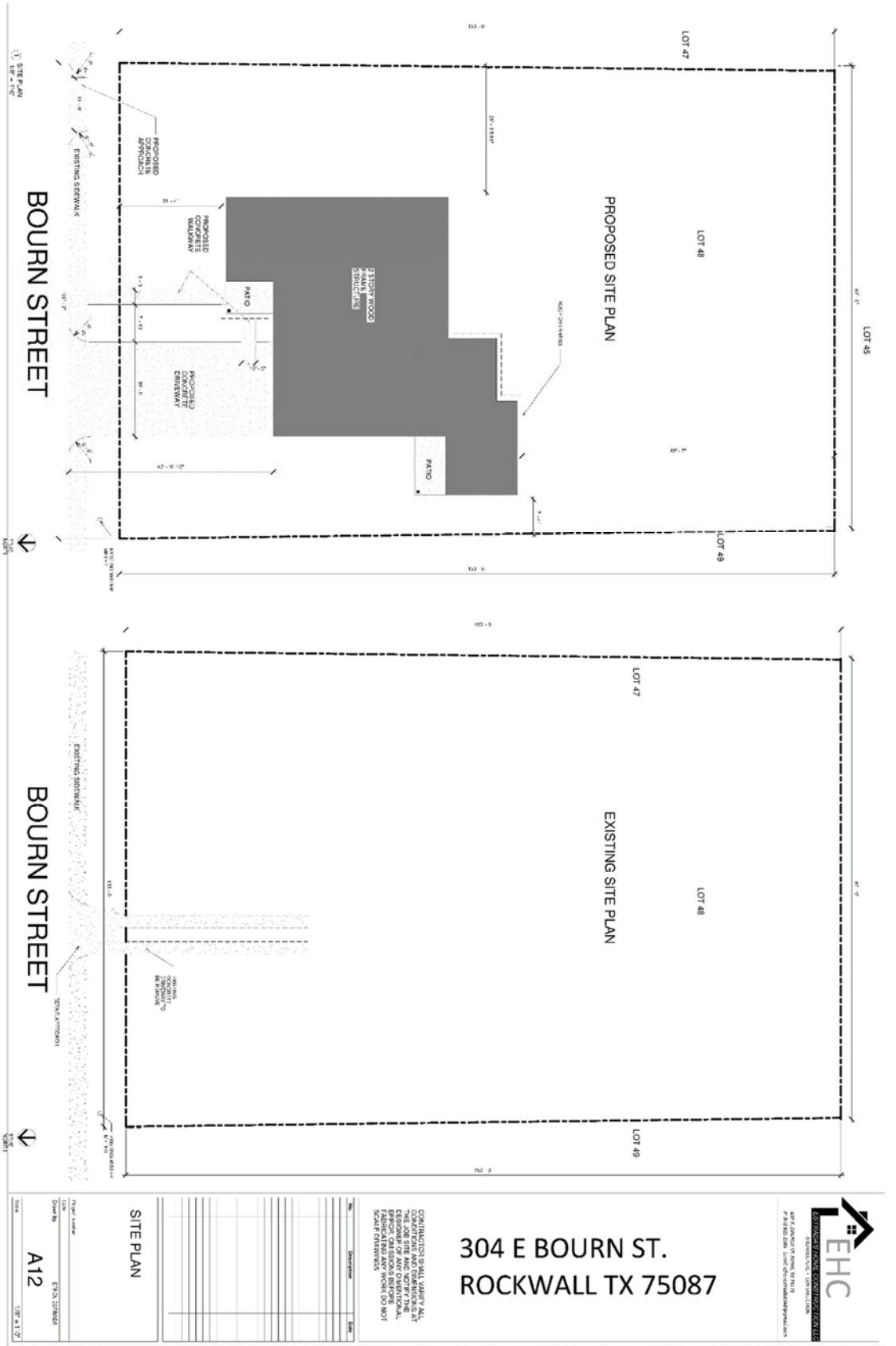
Exhibit 'A'
Location Map and Survey

Address: 304 E. Bourn Street

Legal Description: Lot 48, Canup Addition



Exhibit 'B': Residential Plot Plan




EHC
 ENGINEERING & ARCHITECTURE
 4017 COLLETT ROAD, SUITE 100
 ROCKWALL, TEXAS 75087
 P: 972.962.2000 S: 972.962.2001

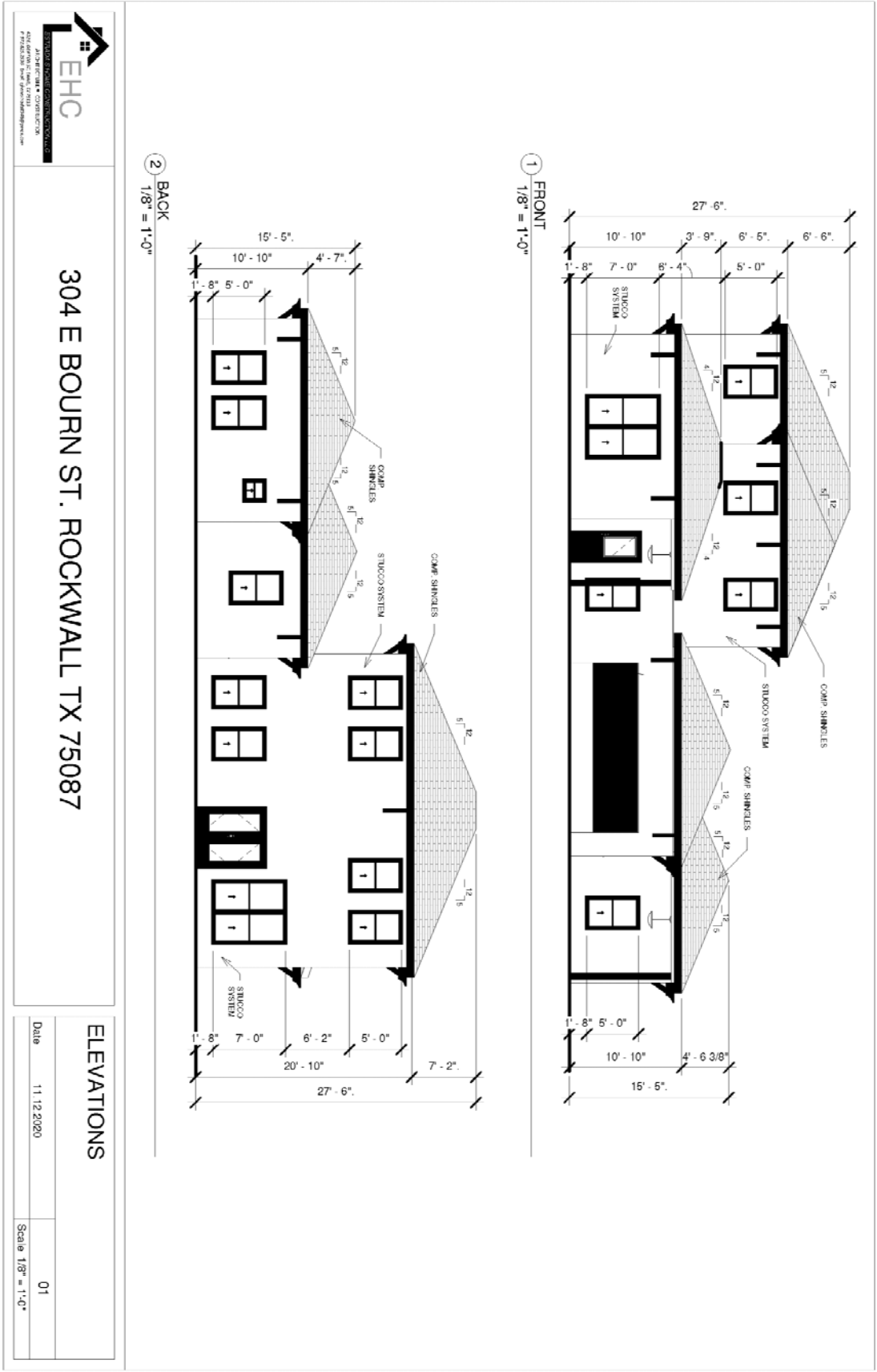
**304 E BOURN ST.
ROCKWALL TX 75087**

CONTRACTOR SHALL VERIFY ALL
 CONDITIONS AND DIMENSIONS AT
 THE JOB SITE AND NOTIFY THE
 ARCHITECT IMMEDIATELY IN
 WRITING OF ANY DISCREPANCIES
 BEFORE PROCEEDING WITH ANY
 CONSTRUCTION WORK. DO NOT
 SCALE DIMENSIONS.

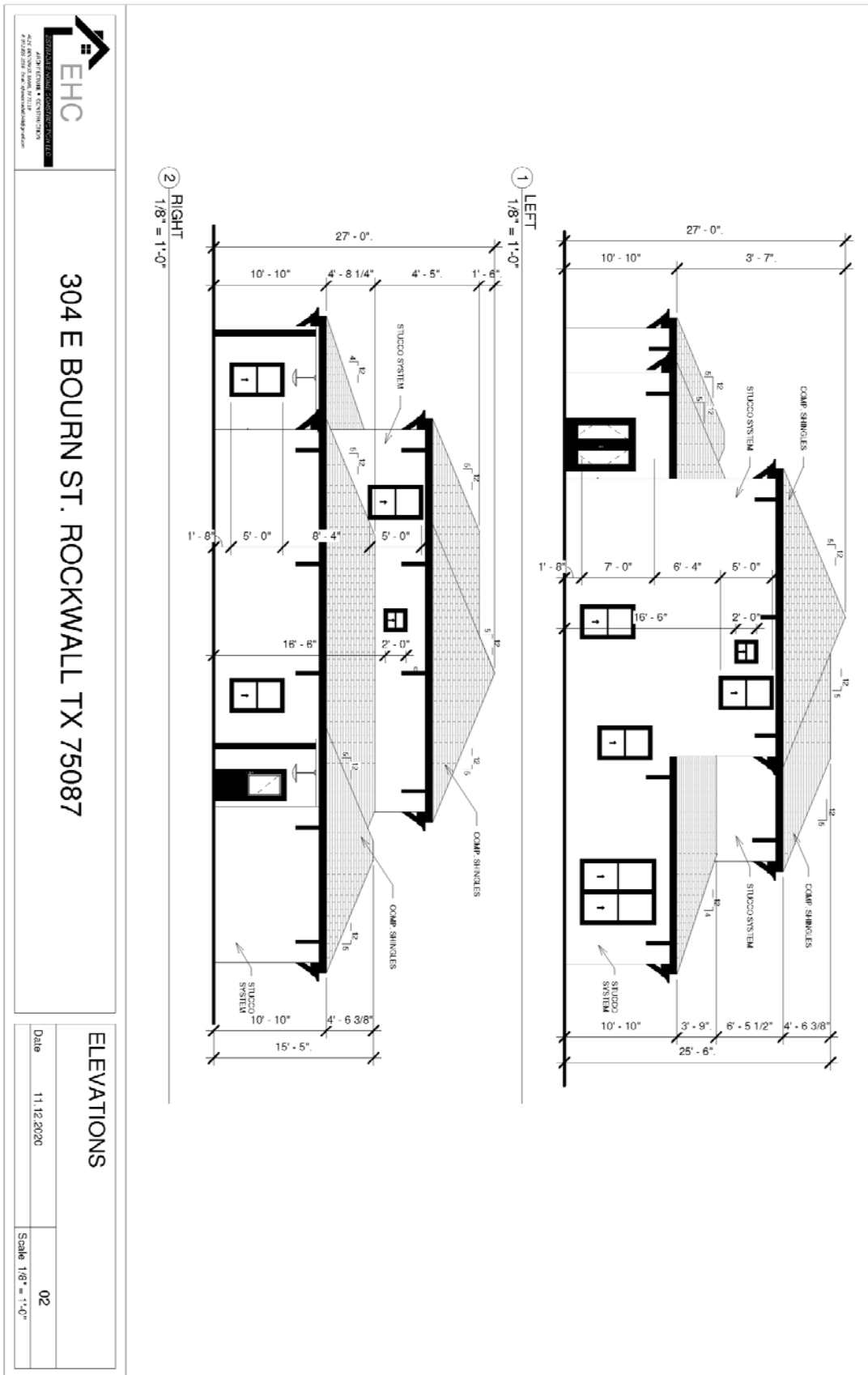
NO.	DESCRIPTION	DATE

Title SITE PLAN	Project Number A12 Client ETCS STRONG
Scale 1/8" = 1'-0"	

**Exhibit 'C':
Building Elevations**



**Exhibit 'C':
Building Elevations**



CITY OF ROCKWALL

ORDINANCE NO. 21-04

SPECIFIC USE PERMIT NO. S-240

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.9655-ACRE PARCEL OF LAND, IDENTIFIED AS LOT A, BLOCK 107, B.F. BOYDSTON ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Perry Bower for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.9655-acre parcel of land being described as Lot A, Block 107, B.F. Boydston, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 501 S. Clark Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and

with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4TH DAY OF JANUARY, 2021.**

Jim Pruitt, Mayor

ATTEST:

Kristy Cole, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: December 21, 2020

2nd Reading: January 4, 2021

Exhibit 'A'
Location Map and Survey

Address: 501 S. Clark Street

Legal Description: Lot A, Block 107, B.F. Boydston Addition



**Exhibit 'B':
Residential Plot Plan**

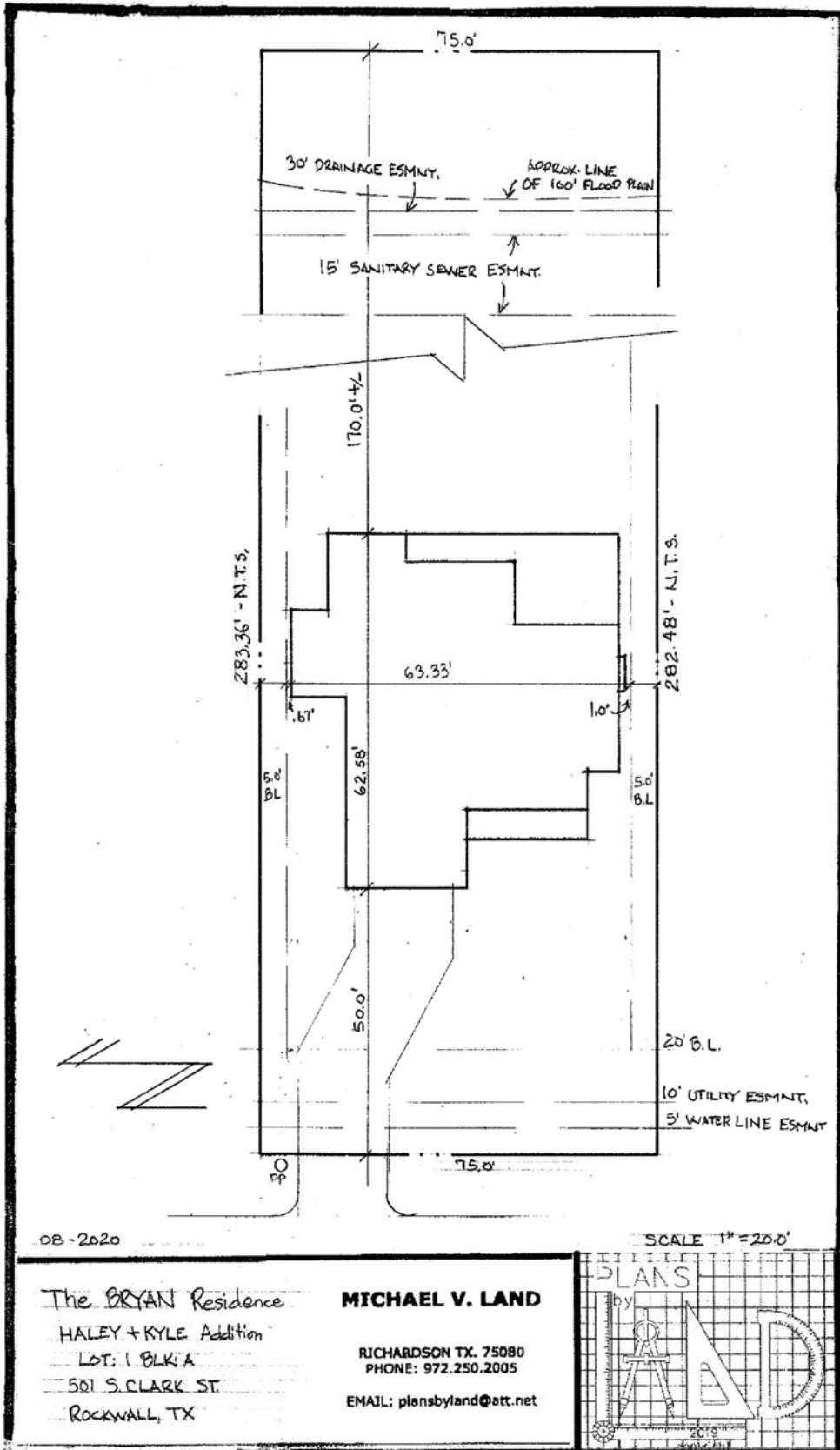


Exhibit 'C': Building Elevations

FRONT ELEVATION
SCALE: 1/8" = 1'-0"

REAR ELEVATION
SCALE: 1/8" = 1'-0"

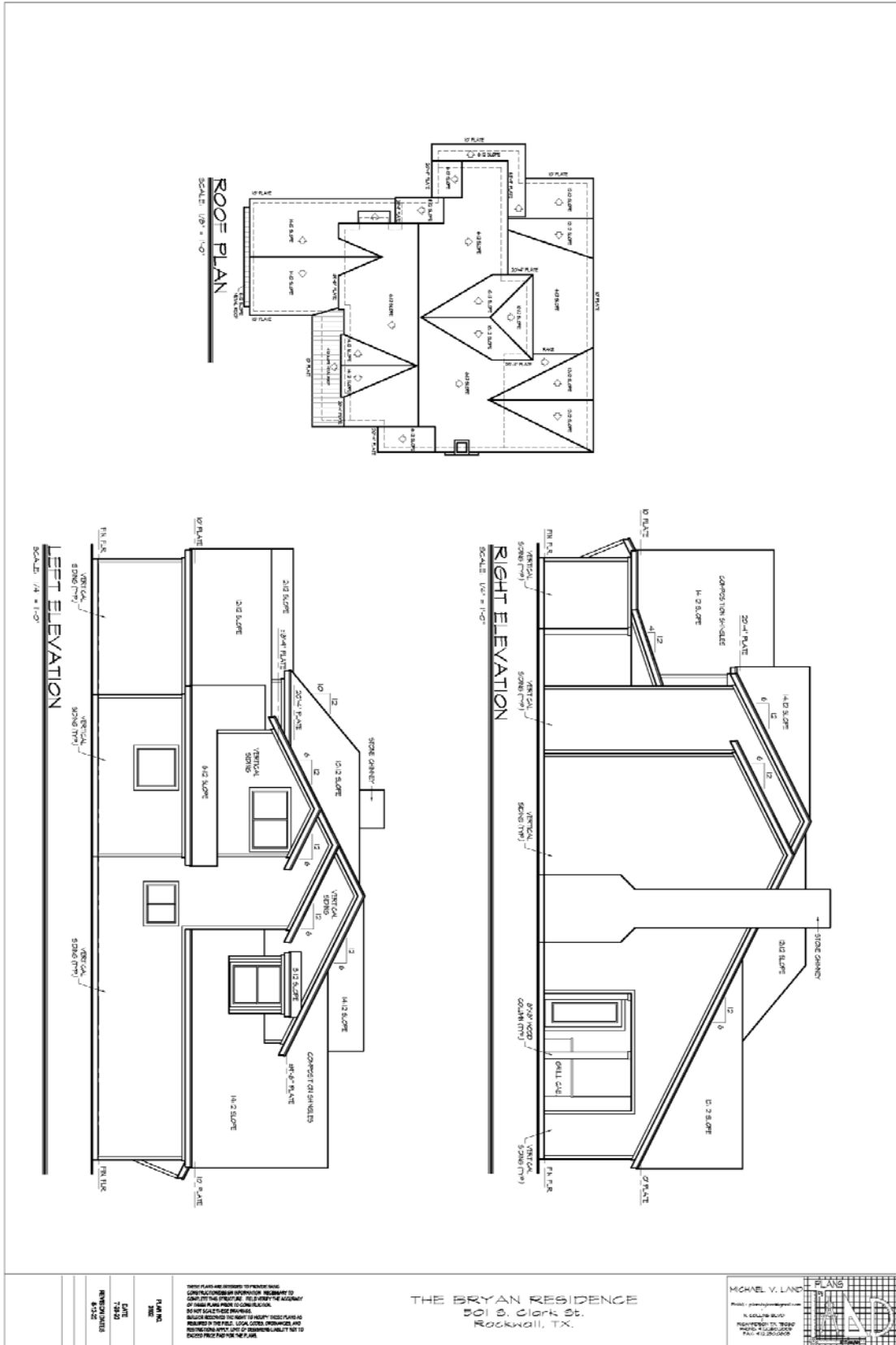
THE BRYAN RESIDENCE
501 S. Clark St.
Rockwall, TX.

MICHAEL V. LAND ARCHITECTS
10000 N. Dallas Blvd.
Suite 1000
Dallas, TX 75243
Phone: 972-961-1100
Fax: 972-961-1101

PLANS
1/2" = 1'-0"

NOTES:
1. THESE PLANS ARE INTENDED TO PROVIDE BASIC CONCEPTS FOR THE ARCHITECTURE. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN OF THE BUILDING AND SHALL VERIFY THE ACCURACY OF THE INFORMATION PROVIDED TO HIM.
2. DO NOT SCALE THESE DRAWINGS.
3. ALL DIMENSIONS SHALL BE TO THE CENTER UNLESS OTHERWISE SPECIFIED.
4. LOCAL CODES, ORDINANCES AND REGULATIONS SHALL BE OBSERVED.
5. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN OF THE BUILDING AND SHALL VERIFY THE ACCURACY OF THE INFORMATION PROVIDED TO HIM.

Exhibit 'C': Building Elevations



CITY OF ROCKWALL

ORDINANCE NO. 21-06

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO A COMMERCIAL (C) DISTRICT ON A 3.94-ACRE TRACT OF LAND IDENTIFIED AS TRACT 1-8 OF THE J. H. BAILEY SURVEY, ABSTRACT NO. 22, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DEPICTED IN *EXHIBIT 'A'* AND FURTHER DESCRIBED IN *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Thomas Jones of Tomden Engineering, LLP for a change in zoning from an Agricultural (AG) District to a Commercial (C) District on a 3.94-acre tract of land identified as Tract 1-8 of the J. H. Bailey Survey, Abstract No. 22, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-276 Overlay (SH-276 OV) District, and more fully depicted in *Exhibit 'A'* and described in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from a Agricultural (AG) District to a Commercial (C) District;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes provided for a Commercial (C) District as stipulated in Section 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses* and Section 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the

zoning described herein;

SECTION 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4TH DAY OF JANUARY, 2021.**

Jim Pruitt, Mayor

ATTEST:

Kristy Cole, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: December 21, 2020

2nd Reading: January 4, 2021

Exhibit 'A'
Zoning Exhibit

Legal Description: Tract 1-8 of the J. H. Bailey Survey, Abstract No. 22

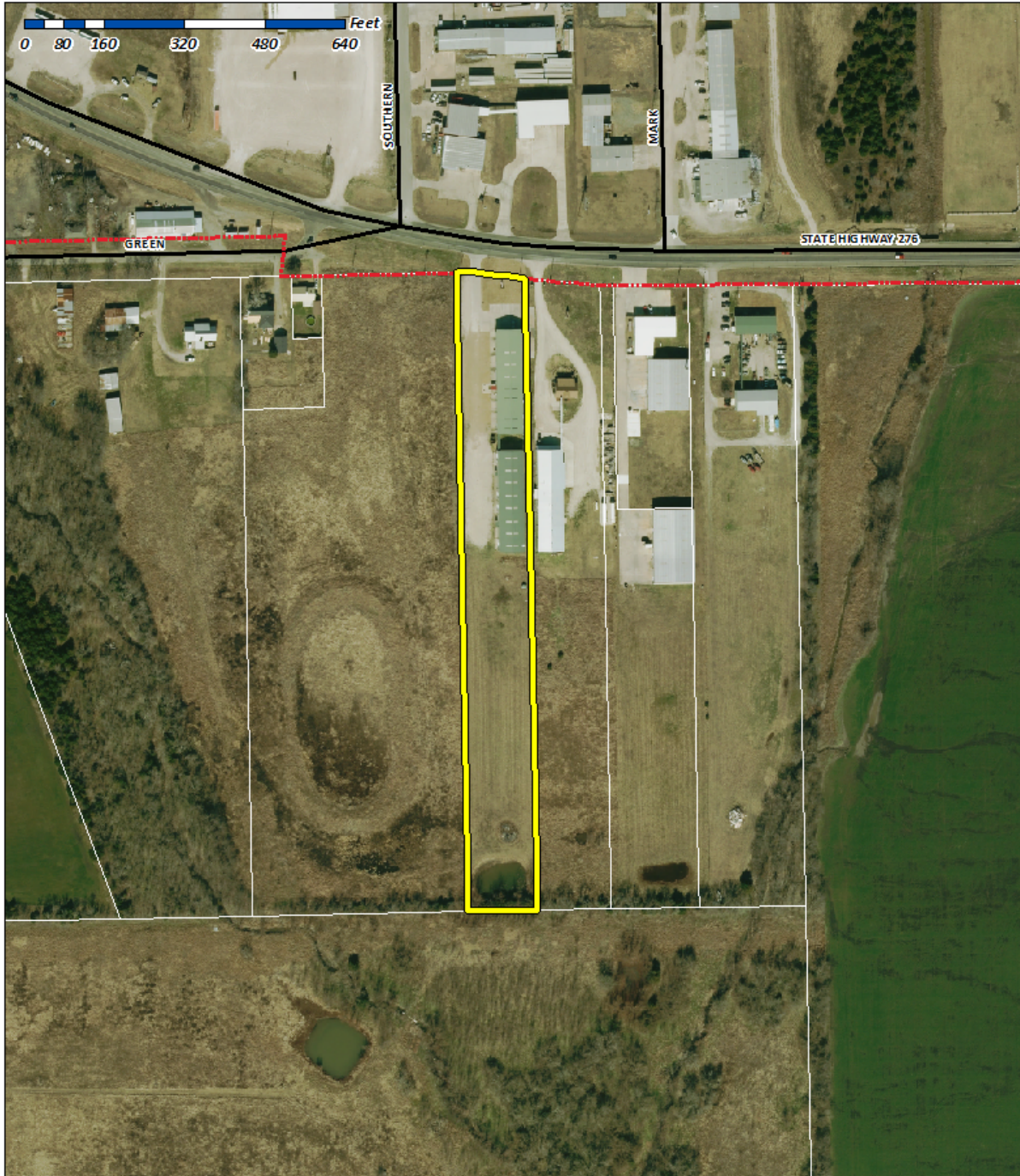


Exhibit 'B'
Legal Description

All that certain lot, tract or parcel of land situated in the J.H. BAILEY SURVEY, ABSTRACT NO. 22, Rockwall County, Texas, and being a part of that 47.10 acres tract of land as described in a Warranty deed from Billie Marie Peoples to Michael L. Peoples and Donnie B. Peoples, dated February 2, 1996 and being recorded in Volume 1084, Page 266 of the Real Property Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner, said point being N. 89 deg. 50 min. 18 sec. W., 223.09 feet and along a curve to the right having a central angle of 06 deg. 34 min. 58 sec., a radius of 2924.79 feet, a chord of N. 86 deg. 32 min. 49 sec. W., 335.85 feet, and an arc distance of 336.03 feet from a 3/8" iron rod found at the Northeast corner of the above cited tract, said point being in the South right-of-way line of State Highway 276;

THENCE S. 00 deg. 11 min. 00 sec. E. parallel to the East line of said tract, a distance of 1265.51 feet to a 1/2" iron rod set with yellow plastic cap stamped "R.S.C.I. R.PLS 5034" for corner in the South line of said tract;

THENCE S. 89 deg. 49 min. 44 sec. W. along the South line of said tract, a distance of 134.64 feet to a 1/2" iron rod set with yellow plastic cap stamped "R.S.C.I. RPLS 5034" for corner;

THENCE N. 00 deg. 11 min. 00 sec. W. a distance of 1285.02 feet to a 1/2" iron rod set with yellow plastic cap stamped "R.S.C.I. RPLS 5034" for corner in the South right-of-way line of State Highway 276 and in the North boundary line of said 47.10 acres tract;

THENCE in a Southeasterly direction along a curve to the left having a central angle of 02 deg. 39 min. 56 sec., a radius of 2924.79 feet, a chord of S. 81 deg. 55 min. 22 sec. E., 136.05 feet, along said right-of-way line an arc distance of 136.06 feet to the POINT OF BEGINNING and containing 3.94 acres of land.

CITY OF ROCKWALL

ORDINANCE NO. 21-07

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM A LIGHT INDUSTRIAL (LI) DISTRICT TO PLANNED DEVELOPMENT DISTRICT **XX** (PD-**XX**) FOR LIGHT INDUSTRIAL (LI) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 18.762-ACRE PARCEL OF LAND IDENTIFIED AS LOT 3, BLOCK A, CHANNELL SUBDIVISION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'* AND DEPICTED HEREIN BY *EXHIBIT 'B'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by David Meinhardt of Meinhardt & Associates Architects on behalf of Ed Burke of Channell Commercial Corporation for the approval of a zoning change from a Light Industrial (LI) District to a Planned Development District for Light Industrial (LI) District land uses, on a 18.762-acre parcel of land identified as Lot 3, Block A, Channell Commercial Corporation, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 Justin Road, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 3. That development of any buildings on the *Subject Property* shall generally be in

accordance with the *Concept Building Elevations*, depicted in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That development of an amphitheater on the *Subject Property* shall generally be in accordance with the *Concept Amphitheater Plan*, depicted in *Exhibit 'E'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'E'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 5. That development of any shade canopies on the *Subject Property* shall generally be in accordance with the *Concept Canopy Plan*, depicted in *Exhibit 'F'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'F'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 6. That any landscaping planted or installed on the *Subject Property* shall generally be in accordance with the *Concept Landscape Plan*, depicted in *Exhibit 'G'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'G'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 7. That any lighting installed on the *Subject Property* shall generally be in accordance with the *Concept Photometric Plan*, depicted in *Exhibit 'H'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'H'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 8. That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'I'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'I'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 9. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 10. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 11. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 12. That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4TH DAY OF JANUARY, 2021.**

Jim Pruitt, Mayor

ATTEST:

Kristy Cole, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: December 21, 2020

2nd Reading: January 4, 2021

Exhibit 'A':
Legal Description

DESCRIPTION, of an 18.762 acre tract of land situated in the Nathan Butler Survey, Abstract No. 20, the Archibald Hanna Survey, Abstract No. 99, and the David Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas; said tract being all of Lot 3, Block A, Channell Subdivision, an addition to the City of Rockwall, Texas according to the plat recorded in Instrument No. 2020000008947 of the Official Public Records of Rockwall County, Texas; said tract also being all of that certain tract of land described in Special Warranty Deed to Willcar Holdings LLC recorded in Instrument No. 2017000002016 of the Official Public Records of Rockwall County, Texas; said 18.762 acre tract being more particularly described as follows:

BEGINNING, at a 1/2-inch iron rod with "R.S.C.I. RPLS 5034" cap found for corner in the east right-of-way line of Industrial Boulevard (a 65-foot wide right-of-way); said point being the westernmost northwest corner of said Lot 2 and the southwest corner of Rockwall Industrial East, an addition to the City of Rockwall, Texas according to the plat recorded in Cabinet C, Slide 72 of said Plat Records;

THENCE, North 88 degrees, 07 minutes, 13 seconds East, departing the said east line of Industrial Boulevard and along the south line of said Rockwall Industrial East, a distance of 850.17 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner; said point being the southeast corner of said Rockwall Industrial East;

THENCE, North 01 degrees, 03 minutes, 38 seconds West, along the east line of said Rockwall Industrial East, a distance of 550.29 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner in the south right-of-way line of the UP/DALLAS GARLAND N.E. RAILROAD (a 100-foot wide right-of-way); said point being the northeast corner of said Rockwall Industrial East;

THENCE, along the said south line of the UP/DALLAS GARLAND N.E. RAILROAD, the following two (2) calls:

North 88 degrees, 10 minutes, 00 seconds East, a distance of 693.99 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at an angle point;

North 88 degrees, 16 minutes, 13 seconds East, a distance of 16.20 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner in the west right-of-way line of John King Boulevard (a 120-foot wide right-of-way);

THENCE, departing the said south line of the UP/DALLAS GARLAND N.E. RAILROAD and along the said west line of John King Boulevard, the following three (3) calls:

South 13 degrees, 13 minutes, 35 seconds East, a distance of 112.68 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the beginning of a non-tangent curve to the left;

In a southeasterly direction, along said curve to the left, having a central angle of 17 degrees, 06 minutes, 33 seconds, a radius of 1,810.00 feet, a chord bearing and distance of South 21 degrees, 54 minutes, 26 seconds East, 538.48 feet, an arc distance of 540.49 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

South 30 degrees, 27 minutes, 42 seconds East, a distance of 46.15 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner; said point being at the northeast end of a circular right-of-way corner clip at the intersection of the said west line of John King Boulevard and the north right-of-way line of Justin Road (a variable width right-of-way) and the beginning of a non-tangent curve to the right;

THENCE, in a southwesterly direction, departing the said west line of John King Boulevard and along said corner clip and said curve to the right, having a central angle of 84 degrees, 24 minutes, 20 seconds, a radius of 29.50 feet, a chord bearing and distance of South 37 degrees, 35 minutes, 03 seconds West, 39.63 feet, an arc distance of 43.46 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner in the said north line of Justin Road; said point being at the southwest end of said corner clip;

Exhibit 'A':
Legal Description

THENCE, departing the said corner clip and along the said north line of Justin Road, the following fourteen (14) calls:

South 79 degrees, 47 minutes, 13 seconds West, a distance of 186.63 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at an angle point;

South 89 degrees, 47 minutes, 13 seconds West, a distance of 50.50 feet to a 1/2-inch iron rod with "CSC 4252" cap found for corner;

South 00 degrees, 38 minutes, 16 seconds East, a distance of 8.89 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner;

South 79 degrees, 47 minutes, 13 seconds West, a distance of 10.22 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner at the beginning of a tangent curve to the left;

In a southwesterly direction, along said curve to the left, having a central angle of 04 degrees, 26 minutes, 56 seconds, a radius of 904.50 feet, a chord bearing and distance of South 77 degrees, 33 minutes, 45 seconds West, 70.22 feet, an arc distance of 70.23 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner;

South 14 degrees, 39 minutes, 43 seconds East, a distance of 12.00 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner; said point being the beginning of a non-tangent curve to the left;

In a southwesterly direction, along said curve to the left, having a central angle of 00 degrees, 33 minutes, 04 seconds, a radius of 892.50 feet, a chord bearing and distance of South 75 degrees, 03 minutes, 45 seconds West, 8.58 feet, an arc distance of 8.58 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

South 74 degrees, 47 minutes, 13 seconds West, a distance of 191.98 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the beginning of a tangent curve to the right;

In a westerly direction, along said curve to the right, having a central angle of 10 degrees, 34 minutes, 42 seconds, a radius of 807.50 feet, a chord bearing and distance of South 80 degrees, 04 minutes, 34 seconds West, 148.87 feet, an arc distance of 149.09 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

South 85 degrees, 21 minutes, 55 seconds West, a distance of 325.98 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the beginning of a tangent curve to the right;

In a westerly direction, along said curve to the right, having a central angle of 22 degrees, 51 minutes, 11 seconds, a radius of 807.50 feet, a chord bearing and distance of North 83 degrees, 12 minutes, 29 seconds West, 319.95 feet, an arc distance of 322.08 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

North 71 degrees, 46 minutes, 54 seconds West, a distance of 100.00 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the beginning of a tangent curve to the left;

In a westerly direction, along said curve to the left, having a central angle of 18 degrees, 36 minutes, 18 seconds, a radius of 892.50 feet, a chord bearing and distance of North 81 degrees, 05 minutes, 03 seconds West, 288.54 feet, an arc distance of 289.81 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

South 89 degrees, 36 minutes, 48 seconds West, a distance of 70.14 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner; said point being at the southeast end of a right-of-way corner clip at the intersection of said north line of Justin Road with the said east line of Industrial

Exhibit 'A':
Legal Description

Boulevard;

THENCE, North 45 degrees, 43 minutes, 30 seconds West, departing the said north line of Justin Road and along the said corner clip, a distance of 42.68 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner in the said east line of Industrial Boulevard; said point being at the northwest end of said corner clip;

THENCE, North 01 degrees, 03 minutes, 48 seconds West, departing the said corner clip and along the said east line of Industrial Boulevard, a distance of 111.88 feet to the *POINT OF BEGINNING*;

CONTAINING, 817,294 square feet or 18.762 acres of land, more or less.

Exhibit 'B':
Lot 3, Block A, Channell Subdivision

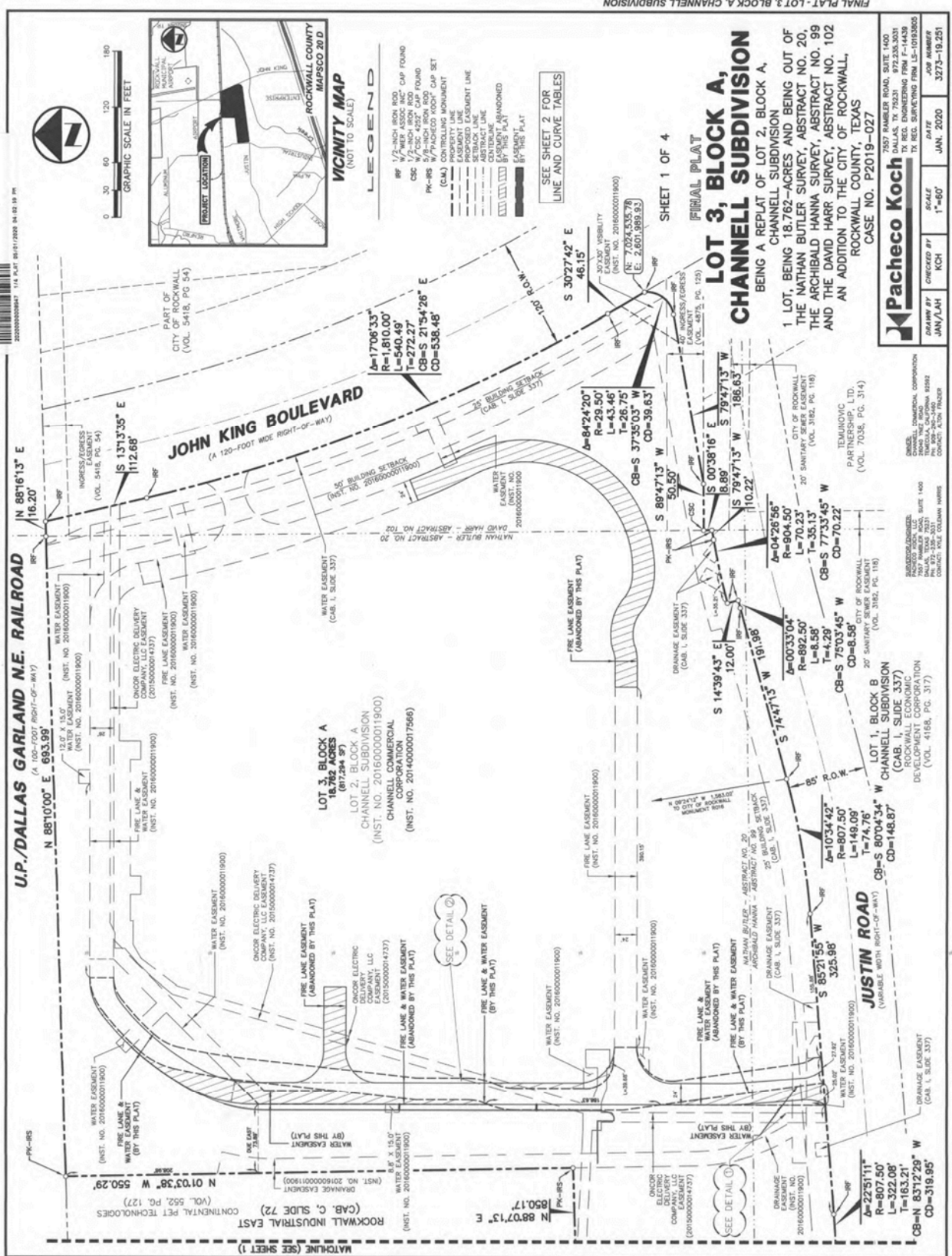
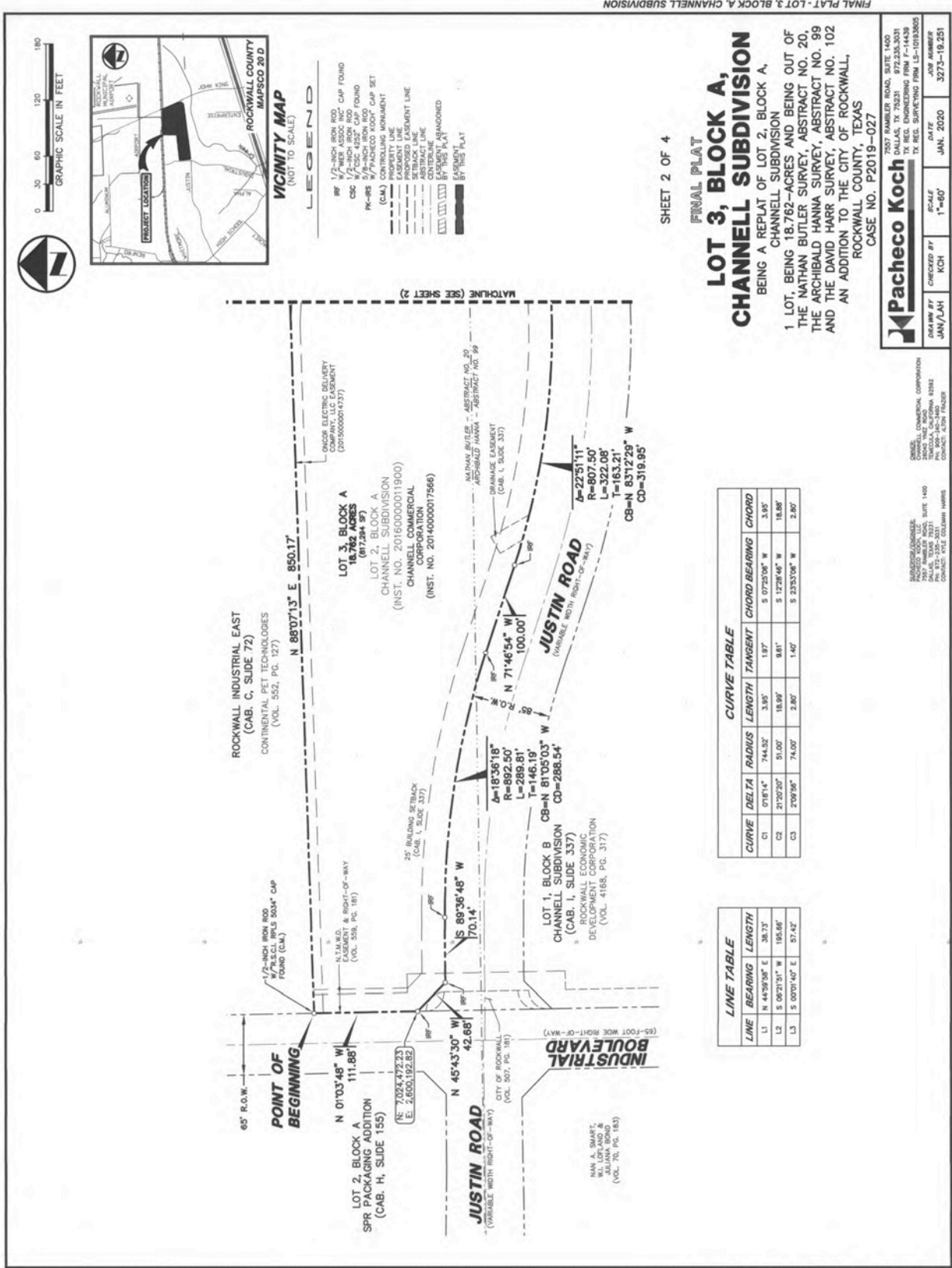


Exhibit 'B':
Lot 3, Block A, Channell Subdivision



FINAL PLAT
LOT 3, BLOCK A,
CHANNELL SUBDIVISION
BEING A REPLAT OF LOT 2, BLOCK A,
CHANNELL SUBDIVISION
1 LOT, BEING 18.762-ACRES AND BEING OUT OF
THE NATHAN BUTLER SURVEY, ABSTRACT NO. 20,
THE ARCHIBALD HANNA SURVEY, ABSTRACT NO. 99
AND THE DAVID HARR SURVEY, ABSTRACT NO. 102
AN ADDITION TO THE CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS
CASE NO. P2019-027

SHEET 2 OF 4

CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD BEARING	CHORD
C1	0718°14'	744.52'	3.95'	197'	S 0725°06' W	3.95'
C2	21°20'20"	51.00'	18.99'	9.81'	S 1228°46' W	18.98'
C3	2°03'56"	74.00'	2.80'	1.40'	S 2333°06' W	2.80'

LINE TABLE

LINE	BEARING	LENGTH
L1	N 45°29'58" E	30.73'
L2	S 09°21'51" W	105.88'
L3	S 00°01'40" E	57.42'

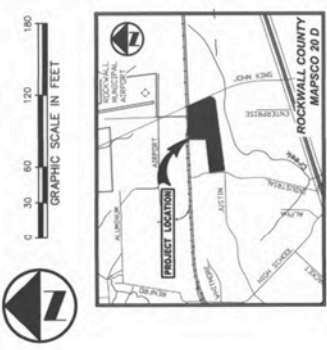
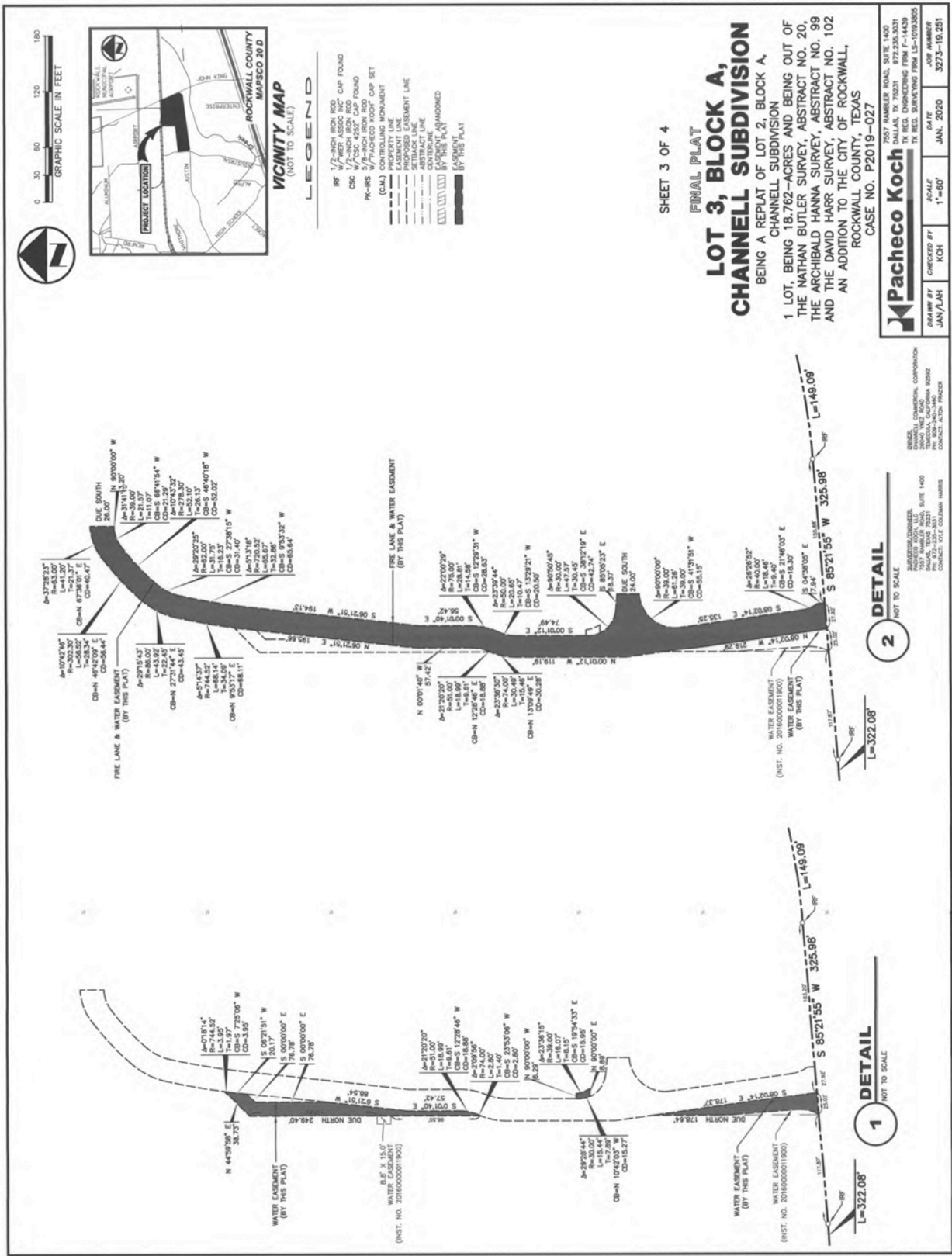
Pacheco Koch
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TX 75231
TEL: 972.336.3031
TX REG. SURVEYING FIRM 5-10193305

SCALE: 1"=60'
DATE: JAN. 2020
BY: [Signature]

CREATED BY: [Signature]
CHECKED BY: [Signature]
DATE: JAN. 2020

DESIGNER: [Signature]
CONSTRUCTION COMMISSION:
5000 WALZ ROAD
DALLAS, TX 75242-1400
TEL: 972.336.3031
CONTACT: ALAN THAYER

Exhibit 'B':
Lot 3, Block A, Channell Subdivision



- LEGEND**
- RF 1/2-INCH IRON ROD
 - W/NER ASSOC INC CAP FOUND
 - CSK W/CSK 4252' CAP FOUND
 - PK-RS 3/8-INCH IRON ROD CAP SET
 - (C.M.) CONTROLLING MONUMENT
 - PROPERTY LINE
 - PROPOSED EASEMENT LINE
 - SETBACK LINE
 - UTILITY LINE
 - CENTERLINE
 - EXISTING PLANNED EASEMENT
 - EASEMENT BY THIS PLAT

FINAL PLAT
LOT 3, BLOCK A,
CHANNELL SUBDIVISION
 BEING A REPLAT OF LOT 2, BLOCK A,
 CHANNELL SUBDIVISION
 1 LOT, BEING 18.762-ACRES AND BEING OUT OF
 THE NATHAN BUTLER SURVEY, ABSTRACT NO. 20,
 THE ARCHIBALD HANNA SURVEY, ABSTRACT NO. 99
 AND THE DAVID HARR SURVEY, ABSTRACT NO. 102
 AN ADDITION TO THE CITY OF ROCKWALL,
 ROCKWALL COUNTY, TEXAS
 CASE NO. P2019-027

SHEET 3 OF 4

Pacheco Koch
 7507 RAMBLER ROAD, SUITE 1400
 DALLAS, TEXAS 75249
 TX REG. SURVEYING FIRM LS-101836005

DATE: JAN. 2020
 JOB NUMBER: 3273-19.251

CHECKED BY: KCH
 DRAWN BY: JAN/LAH

2 DETAIL
 NOT TO SCALE

ROCKWALL COMMERCIAL CORPORATION
 2010 W. WINDYBROOK LANE, SUITE 1400
 ROCKWALL, TEXAS 75087
 CONTRACT: 2019-027

1 DETAIL
 NOT TO SCALE

ROCKWALL COMMERCIAL CORPORATION
 2010 W. WINDYBROOK LANE, SUITE 1400
 ROCKWALL, TEXAS 75087
 CONTRACT: 2019-027

Exhibit 'B': Lot 3, Block A, Channell Subdivision

FINAL PLAT - LOT 3, BLOCK A, CHANNELL SUBDIVISION

RECOMMENDED FOR FINAL APPROVAL

I, James N. Channell, City Engineer, do hereby certify that the above and foregoing plat is an addition to the City of Rockwall, Texas, and shall be recorded in the Official Public Records of Rockwall County, Texas, with all necessary approvals (AOS) from said date of final approval.

WITNESS OUR HANDS, this 11th day of JANUARY, 2020.

Mayor, City of Rockwall

NOTICE: READ THE PLAN AND THE CITY ENGINEER'S CERTIFICATE

NOTE: THEREFORE KNOW ALL MEN BY THESE PRESENTS, that I, James N. Channell, City Engineer, do hereby certify that the above and foregoing plat is an addition to the City of Rockwall, Texas, and shall be recorded in the Official Public Records of Rockwall County, Texas, with all necessary approvals (AOS) from said date of final approval.

NOTES

1. It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City shall not constitute an endorsement or approval of any services, structures, materials or equipment used, nor shall it constitute an assurance or guarantee by the City of the adequacy and availability of water for personal use and the protection with such plat, or required under Ordinance 03-24.

2. Before any plat for this survey is based on the State Plane Coordinate System, Texas North Central Zone (2003), North American Datum of 2011 (NAD 2011) or any other datum, the coordinates shall include the datum and projection.

3. The coordinates shown hereon are State Plane (2003) Coordinates, in state and not in projection.

FILED AND RECORDED
In Dallas County, Texas
on this 11th day of January, 2020.
1/15/2020 10:25 AM
COUNTY CLERK
2020010000000001

Scale 1" = 60'

DATE JAN. 2020

JOB NUMBER 3273-19.201

Pacheco Koch
ENGINEERING ARCHITECTURE CONSTRUCTION CORPORATION
2000 WALKER ROAD, SUITE 1400
DALLAS, TEXAS 75201
PHONE: 972-942-1400
FAX: 972-942-1401
CONTACT: PAUL TROSPER

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Exhibit 'C':
Concept Plan

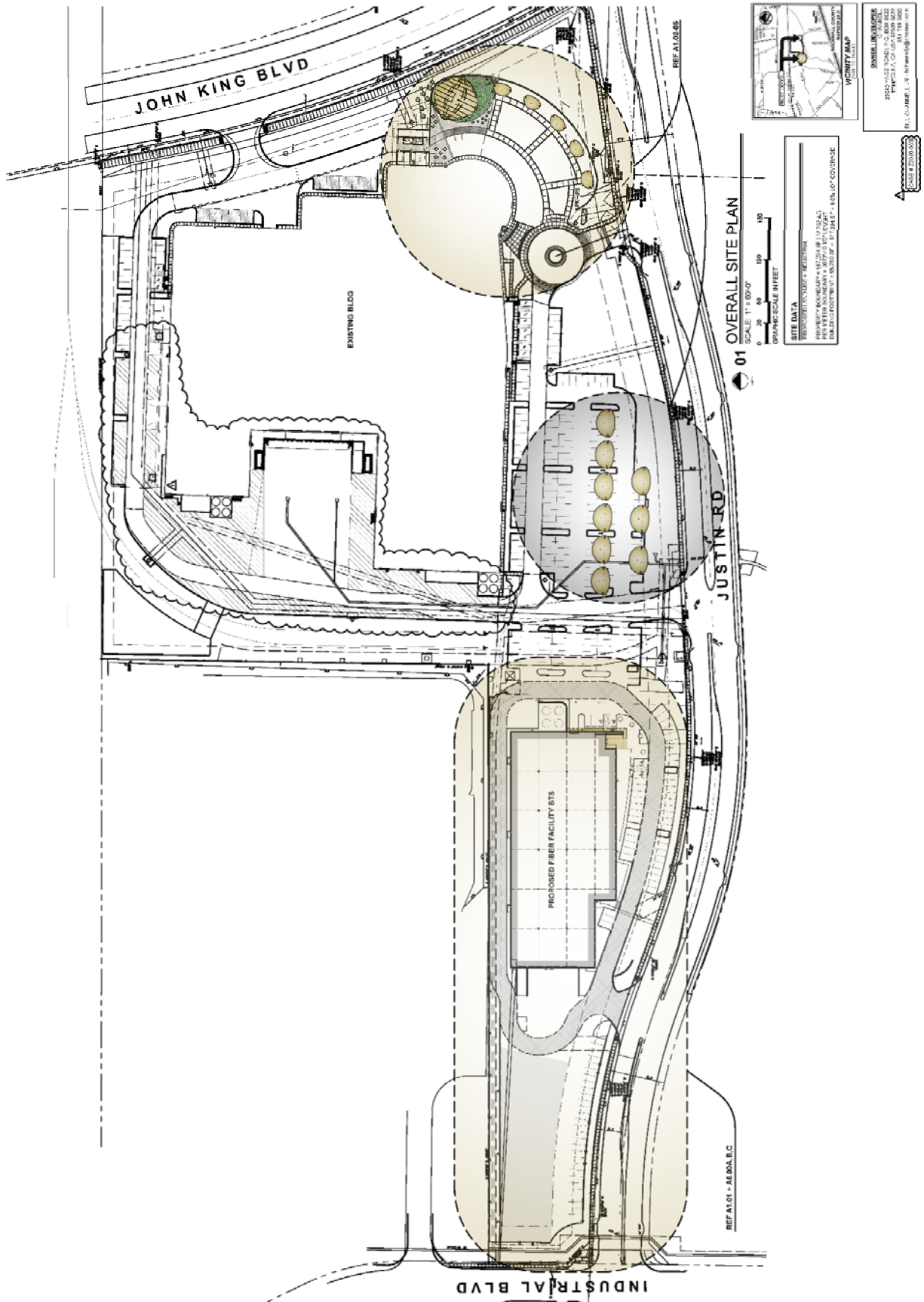


Exhibit 'C':
Concept Plan

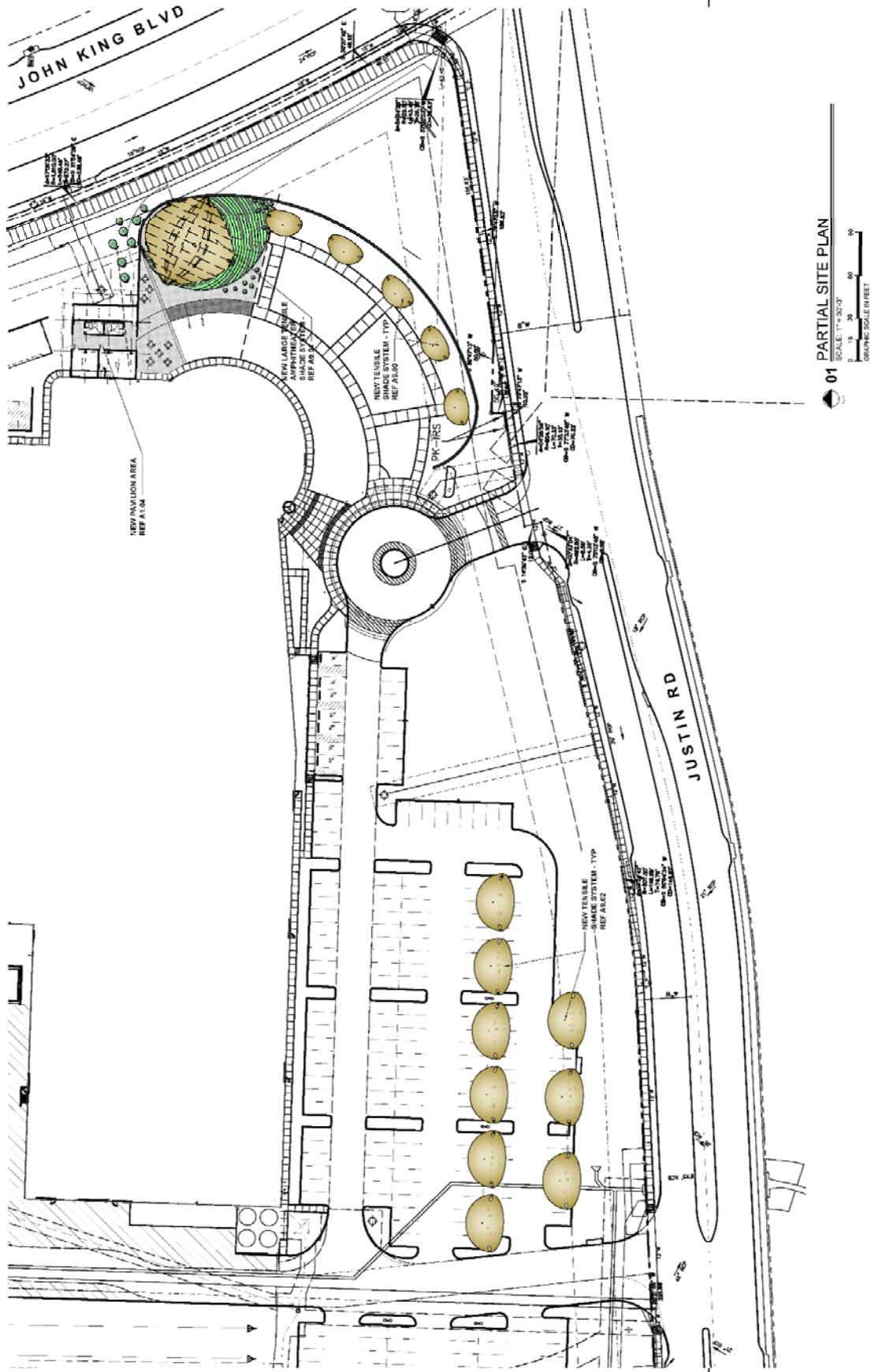


Exhibit 'D': Concept Building Elevations

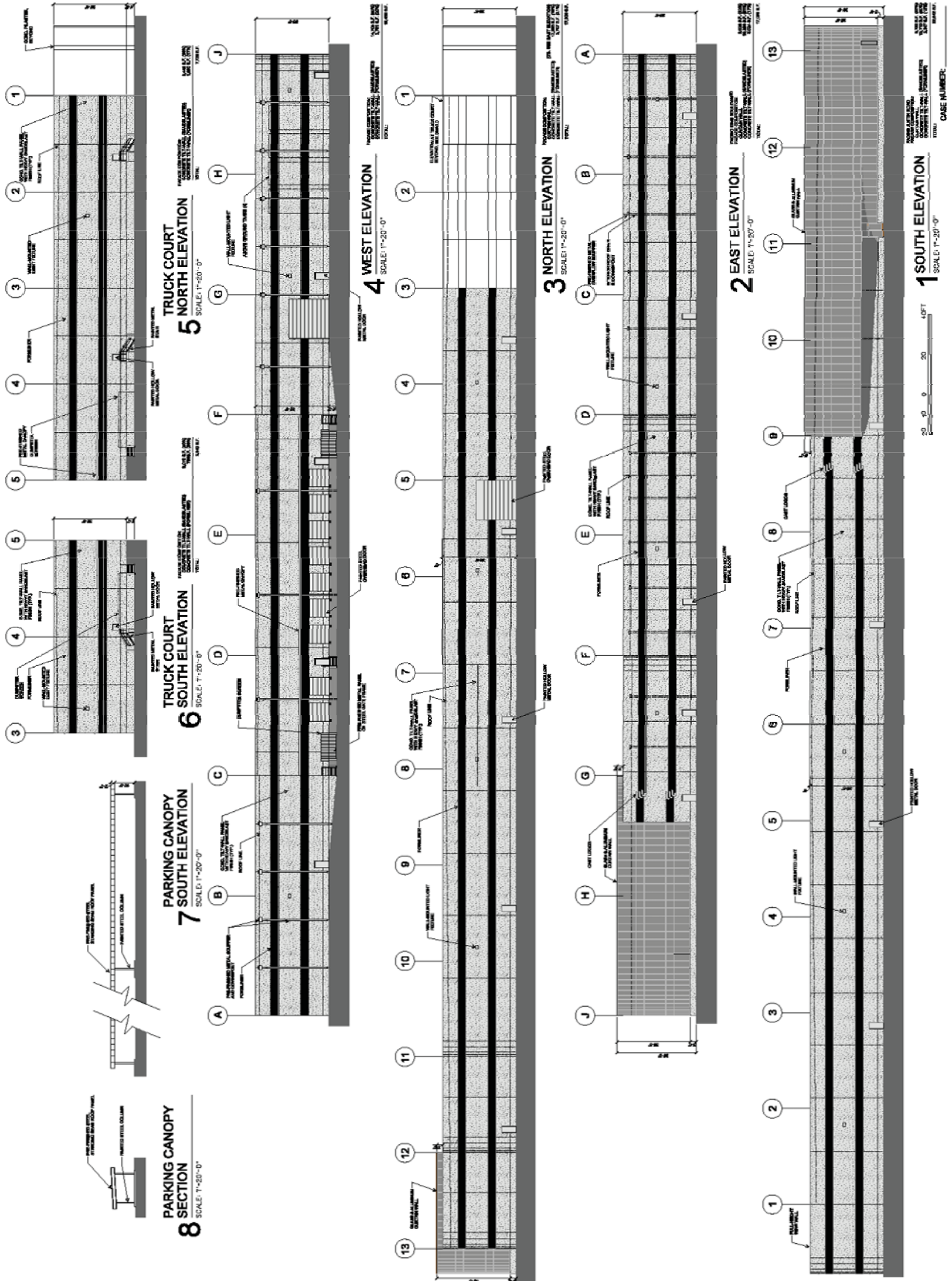
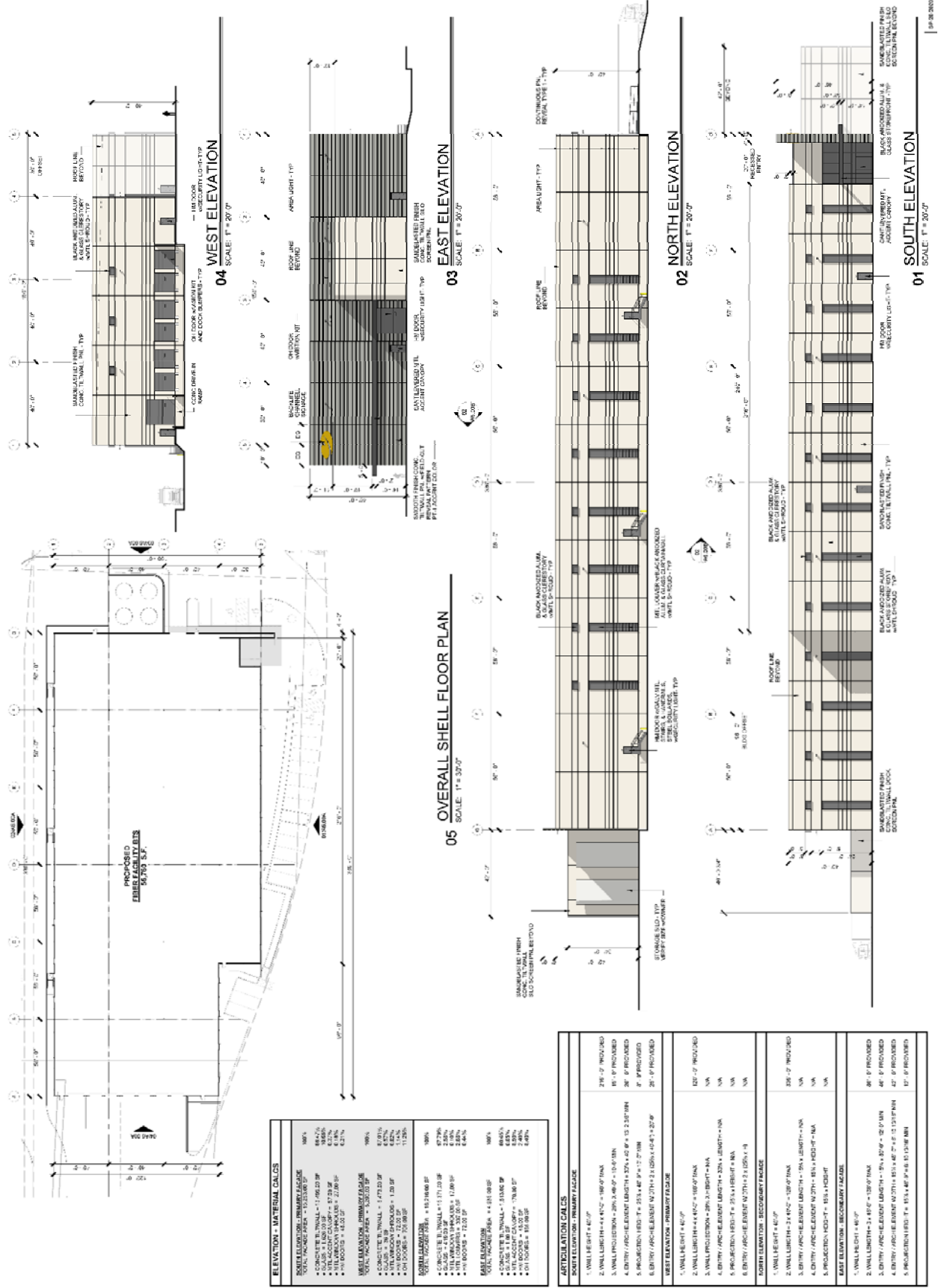


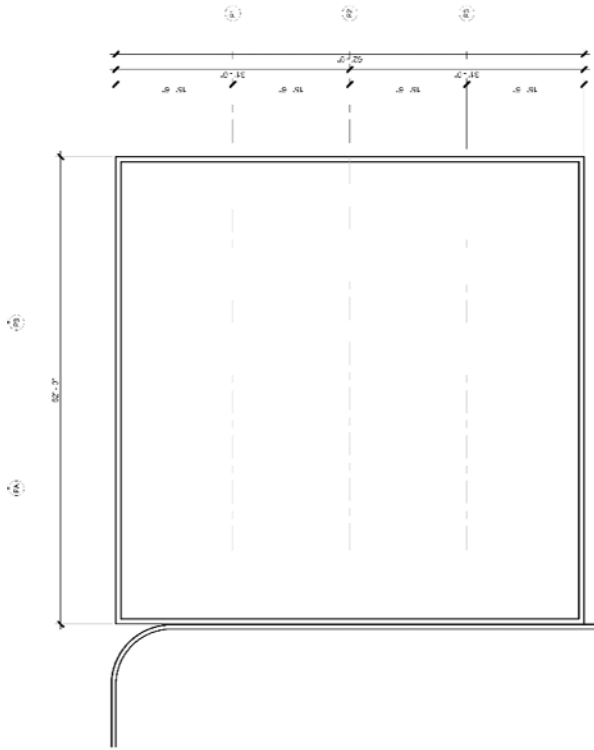
Exhibit 'D': Concept Building Elevations



E ELEVATION - MATERIAL CALLS	
100%	SOUTH ELEVATION - PRIMARY FACADE
• CONCRETE BL. WALL - 11,982.00 SF	• WOOD - 216 SF
• WIRE-GLASS CANOPY - 8,238.00 SF	• WIRE-GLASS - 10,000 SF
• WOOD - 216 SF	• WIRE-GLASS - 10,000 SF
• WIRE-GLASS - 10,000 SF	• WIRE-GLASS - 10,000 SF
100%	WEST ELEVATION - PRIMARY FACADE
• CONCRETE BL. WALL - 1,472.00 SF	• WOOD - 48 SF
• WIRE-GLASS CANOPY - 1,200 SF	• WIRE-GLASS - 1,512 SF
• WIRE-GLASS - 1,512 SF	• WIRE-GLASS - 1,512 SF
100%	SOUTH ELEVATION - SECONDARY FACADE
• CONCRETE BL. WALL - 10,188.00 SF	• WOOD - 216 SF
• WIRE-GLASS CANOPY - 8,238.00 SF	• WIRE-GLASS - 10,000 SF
• WIRE-GLASS - 10,000 SF	• WIRE-GLASS - 10,000 SF
100%	EAST ELEVATION - PRIMARY FACADE
• CONCRETE BL. WALL - 1,472.00 SF	• WOOD - 48 SF
• WIRE-GLASS CANOPY - 1,200 SF	• WIRE-GLASS - 1,512 SF
• WIRE-GLASS - 1,512 SF	• WIRE-GLASS - 1,512 SF
100%	SOUTH ELEVATION - SECONDARY FACADE
• CONCRETE BL. WALL - 10,188.00 SF	• WOOD - 216 SF
• WIRE-GLASS CANOPY - 8,238.00 SF	• WIRE-GLASS - 10,000 SF
• WIRE-GLASS - 10,000 SF	• WIRE-GLASS - 10,000 SF

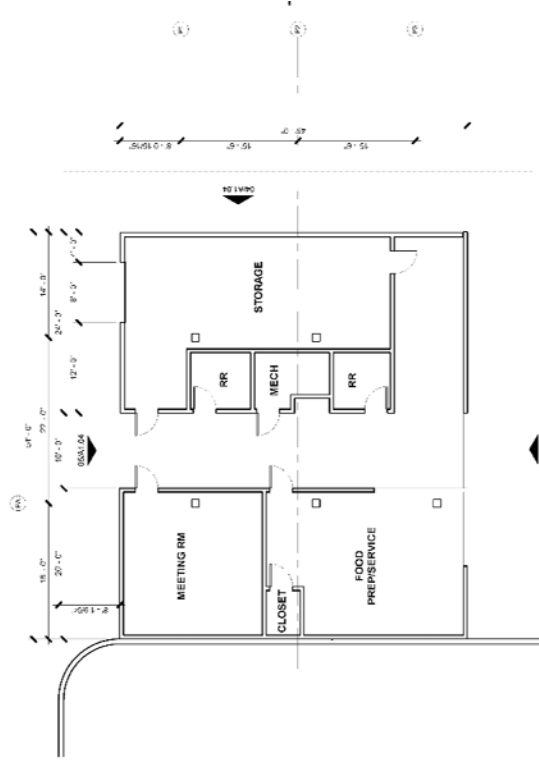
ELEVATION CALLS	
SOUTH ELEVATION - PRIMARY FACADE	216 SF WOOD
1. WALL HEIGHT = 42'-0"	10,000 SF WIRE-GLASS
2. WALL LENGTH = 44'-0"	10,000 SF WIRE-GLASS
3. WALL PROJECTION = 20'-0"	10,000 SF WIRE-GLASS
4. ENTRY / ARCH-HEIGHT LENGTH = 20' x 42' @ 10' x 10' @ 10'	10,000 SF WIRE-GLASS
5. PROJECTION 10' @ 10' x 42' @ 10' x 10' @ 10'	10,000 SF WIRE-GLASS
6. ENTRY / ARCH-HEIGHT W/ 20' x 42' @ 10' x 10' @ 10'	10,000 SF WIRE-GLASS
EAST ELEVATION - PRIMARY FACADE	48 SF WOOD
1. WALL HEIGHT = 42'-0"	10,000 SF WIRE-GLASS
2. WALL LENGTH = 44'-0"	10,000 SF WIRE-GLASS
3. WALL PROJECTION = 20'-0"	10,000 SF WIRE-GLASS
4. ENTRY / ARCH-HEIGHT LENGTH = 20' x 42' @ 10' x 10' @ 10'	10,000 SF WIRE-GLASS
5. PROJECTION 10' @ 10' x 42' @ 10' x 10' @ 10'	10,000 SF WIRE-GLASS
6. ENTRY / ARCH-HEIGHT W/ 20' x 42' @ 10' x 10' @ 10'	10,000 SF WIRE-GLASS
NORTH ELEVATION - SECONDARY FACADE	216 SF WOOD
1. WALL HEIGHT = 42'-0"	10,000 SF WIRE-GLASS
2. WALL LENGTH = 44'-0"	10,000 SF WIRE-GLASS
3. WALL PROJECTION = 20'-0"	10,000 SF WIRE-GLASS
4. ENTRY / ARCH-HEIGHT LENGTH = 20' x 42' @ 10' x 10' @ 10'	10,000 SF WIRE-GLASS
5. PROJECTION 10' @ 10' x 42' @ 10' x 10' @ 10'	10,000 SF WIRE-GLASS
6. ENTRY / ARCH-HEIGHT W/ 20' x 42' @ 10' x 10' @ 10'	10,000 SF WIRE-GLASS
SOUTH ELEVATION - SECONDARY FACADE	48 SF WOOD
1. WALL HEIGHT = 42'-0"	10,000 SF WIRE-GLASS
2. WALL LENGTH = 44'-0"	10,000 SF WIRE-GLASS
3. WALL PROJECTION = 20'-0"	10,000 SF WIRE-GLASS
4. ENTRY / ARCH-HEIGHT LENGTH = 20' x 42' @ 10' x 10' @ 10'	10,000 SF WIRE-GLASS
5. PROJECTION 10' @ 10' x 42' @ 10' x 10' @ 10'	10,000 SF WIRE-GLASS
6. ENTRY / ARCH-HEIGHT W/ 20' x 42' @ 10' x 10' @ 10'	10,000 SF WIRE-GLASS

Exhibit 'D': Concept Building Elevations



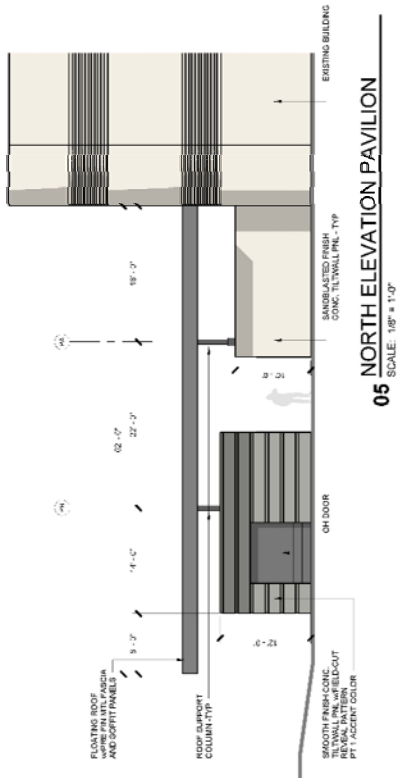
02 PAVILION ROOF

SCALE: 1/8" = 1'-0"



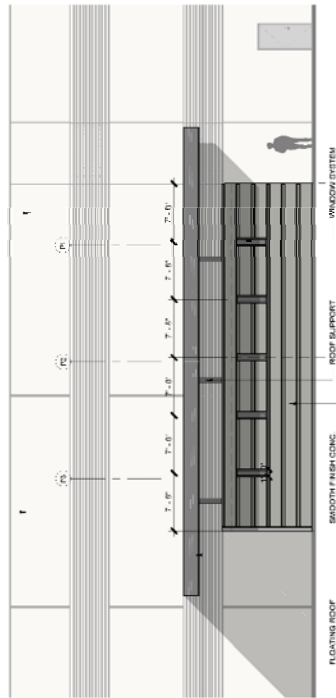
01 PAVILION PLAN

SCALE: 1/8" = 1'-0"



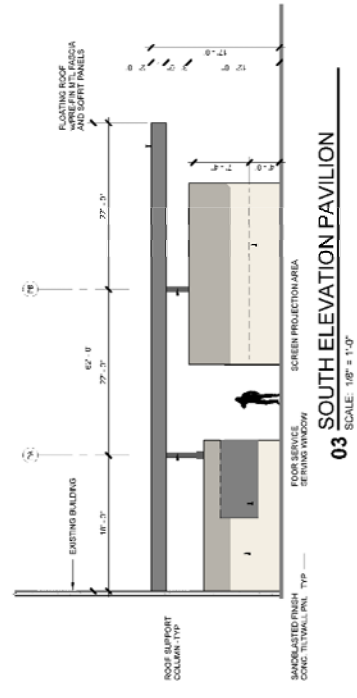
05 NORTH ELEVATION PAVILION

SCALE: 1/8" = 1'-0"



04 EAST ELEVATION PAVILION

SCALE: 1/8" = 1'-0"



03 SOUTH ELEVATION PAVILION

SCALE: 1/8" = 1'-0"

Exhibit 'D':
Concept Building Elevations

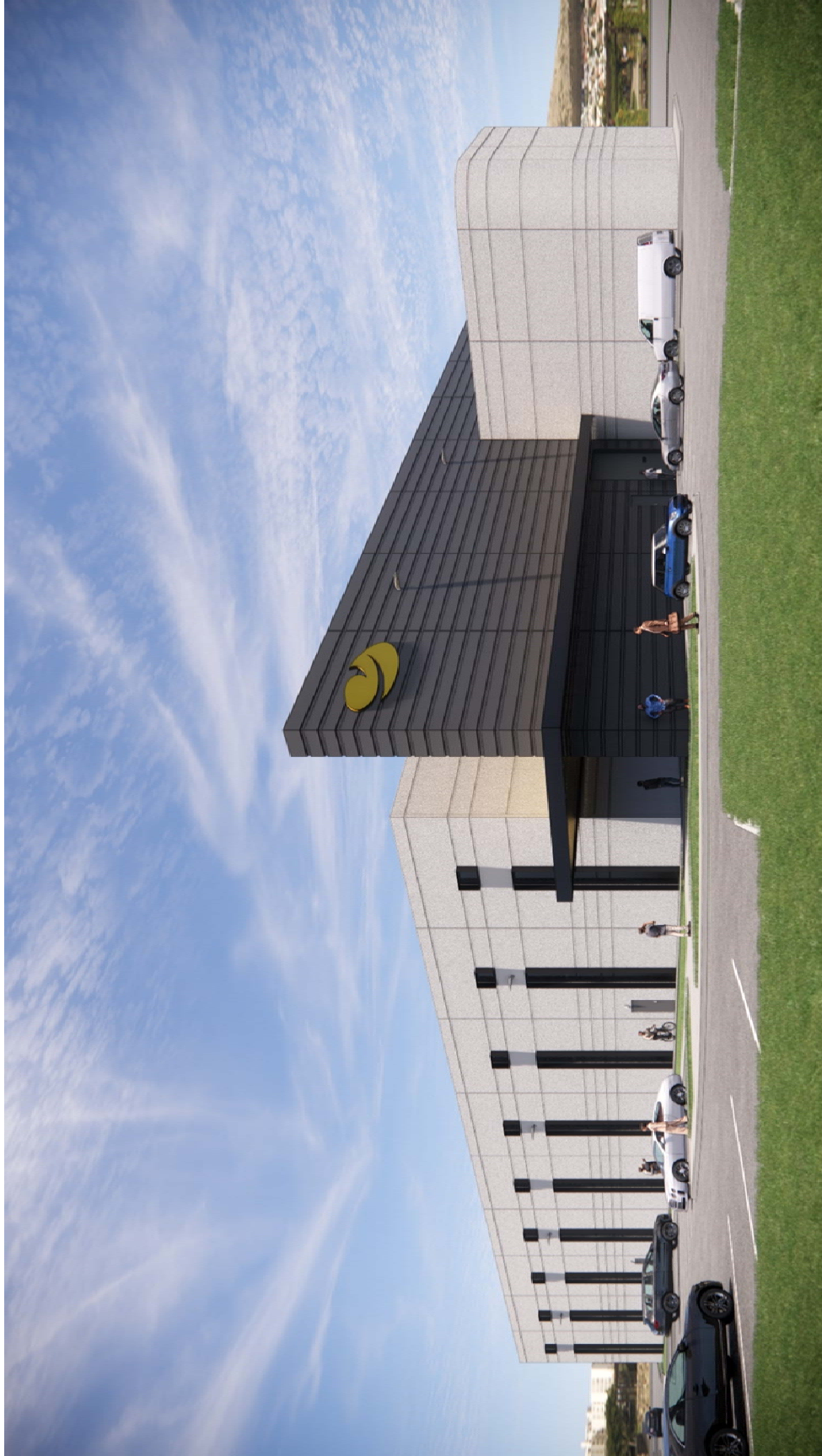


Exhibit 'D':
Concept Building Elevations



Exhibit 'E': Concept Amphitheater Plan



Exhibit 'E':
Concept Amphitheater Plan

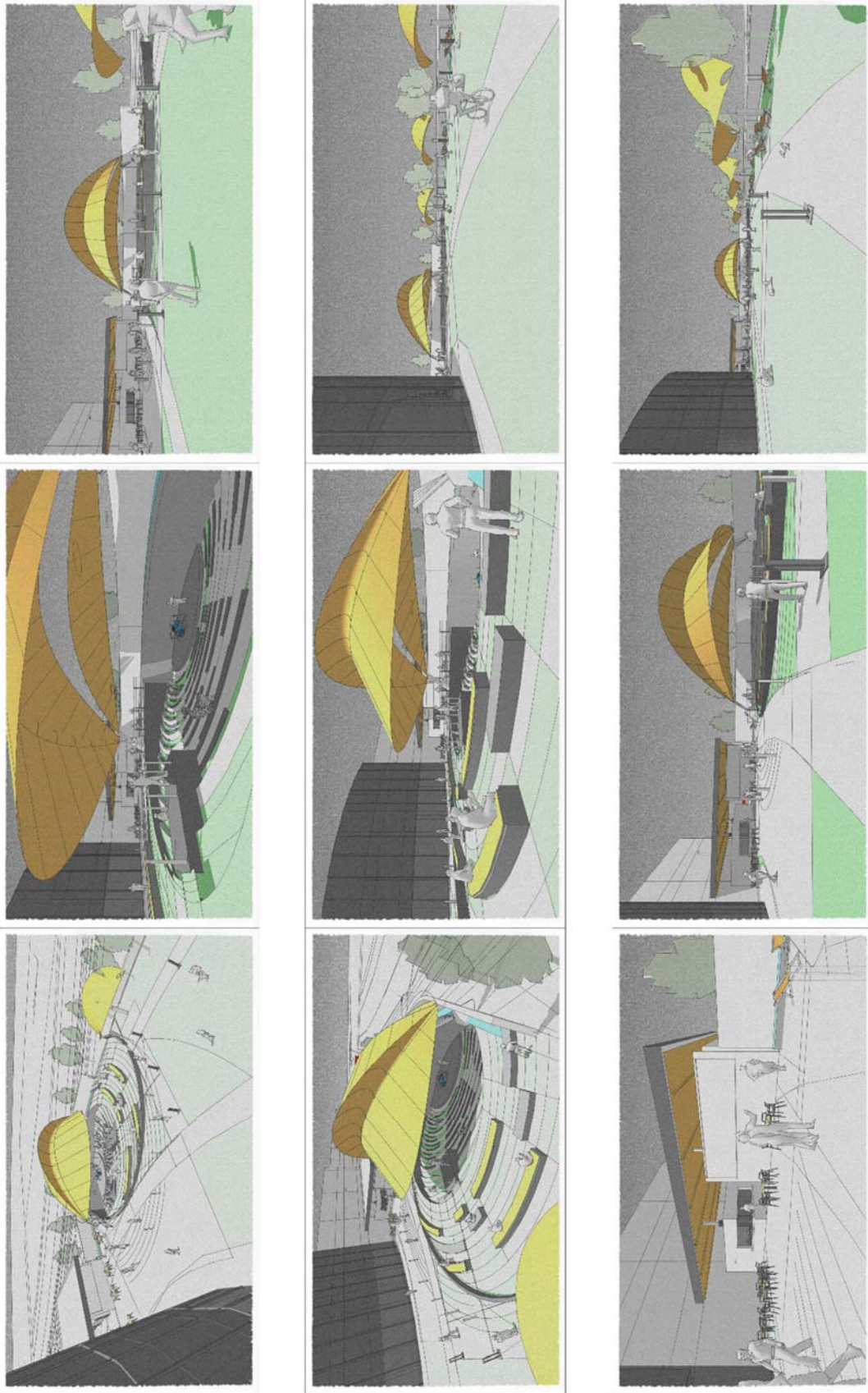
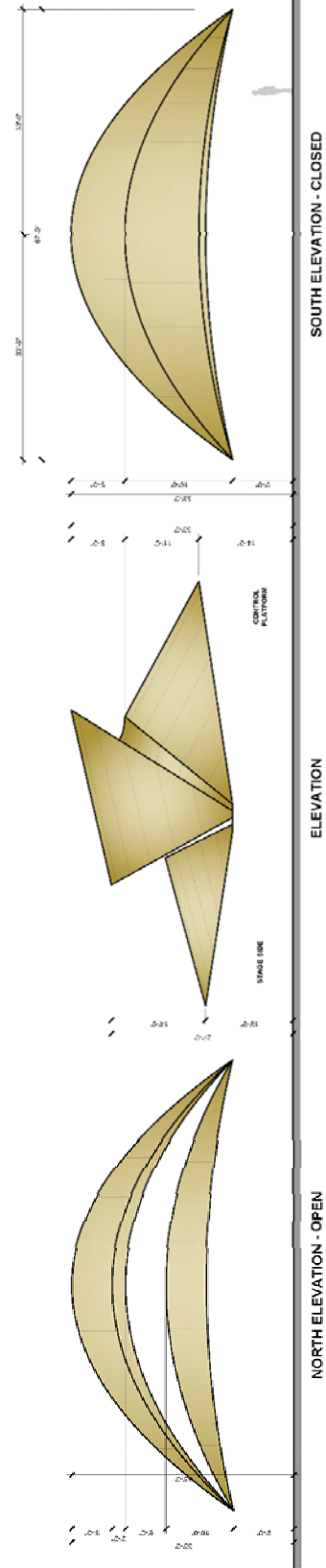
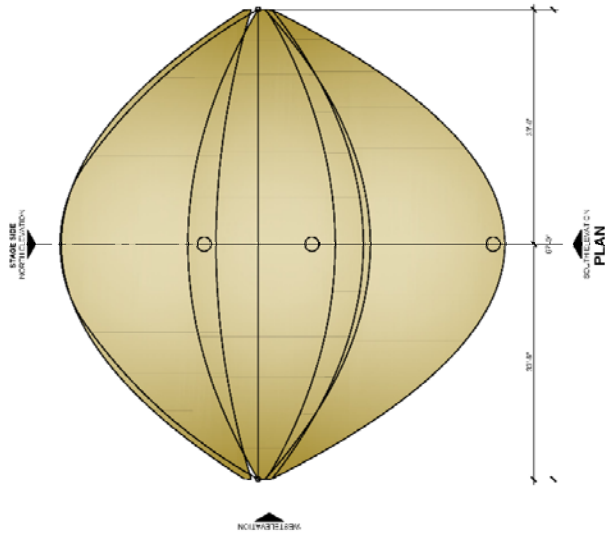


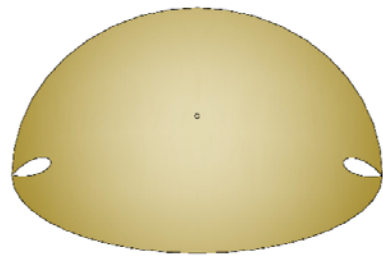
Exhibit 'E':
Concept Amphitheater Plan



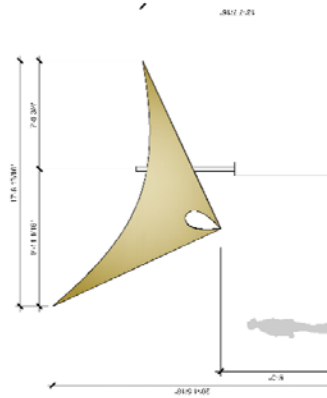
01 AMPHITHEATER TENSILE
 SCALE: 1/8" = 1'-0"

[#12.200217]

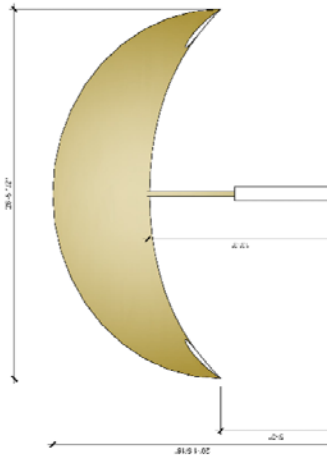
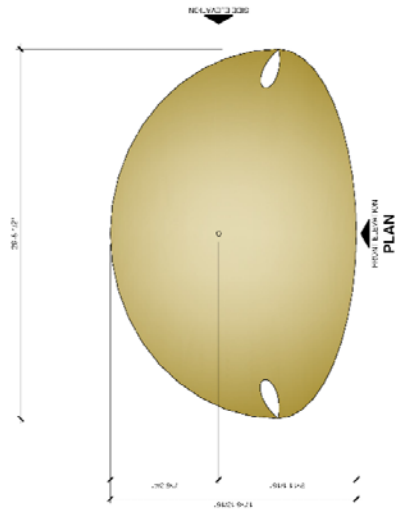
Exhibit 'F':
Concept Canopy Plan



PLAN



SIDE ELEVATION



FRONT ELEVATION

01 SMALL TENSILE
 SCALE: 1/4" = 1'-0"

SP-2000021

Exhibit 'F':
Concept Canopy Plan

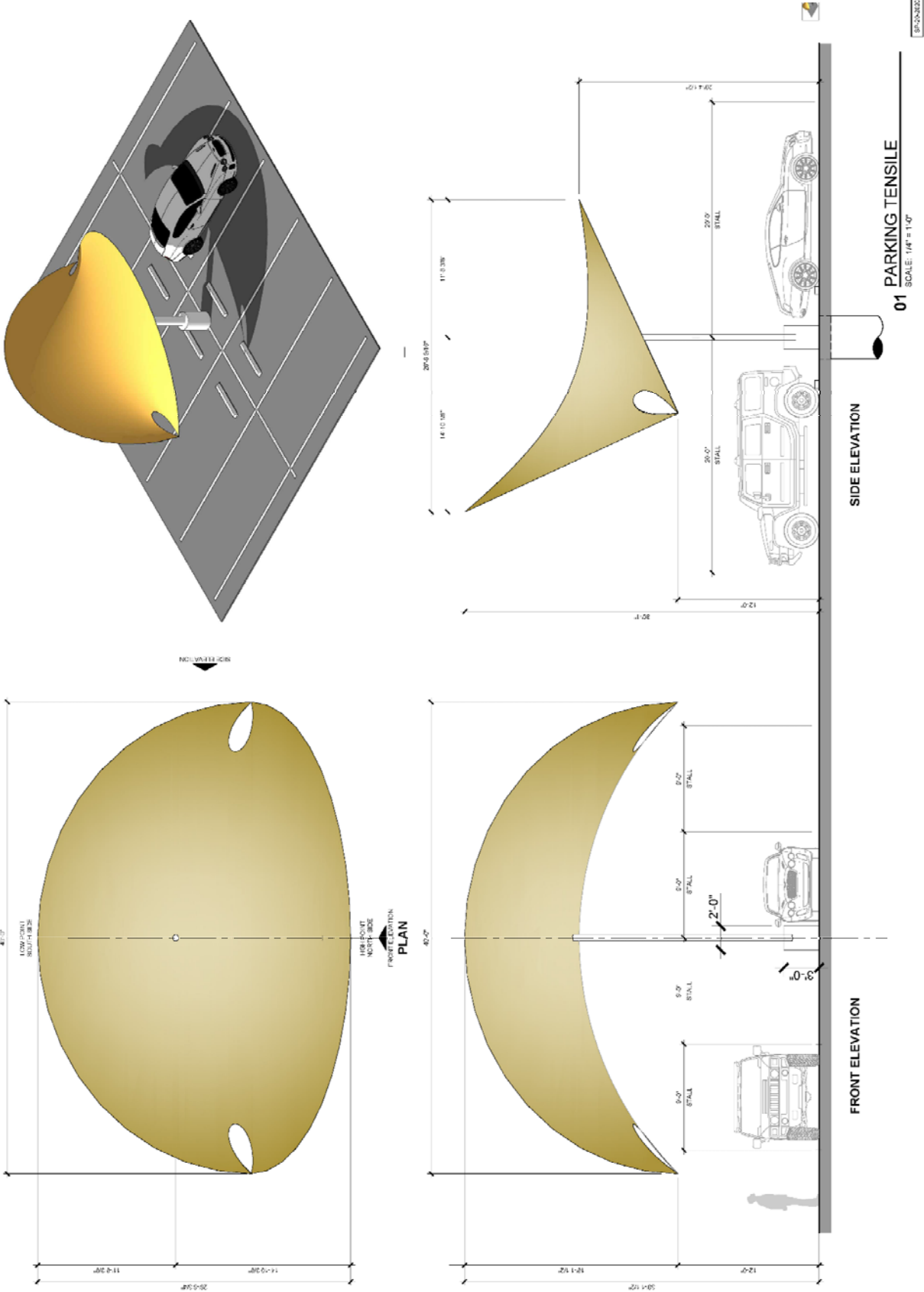


Exhibit 'G': Concept Landscape Plan

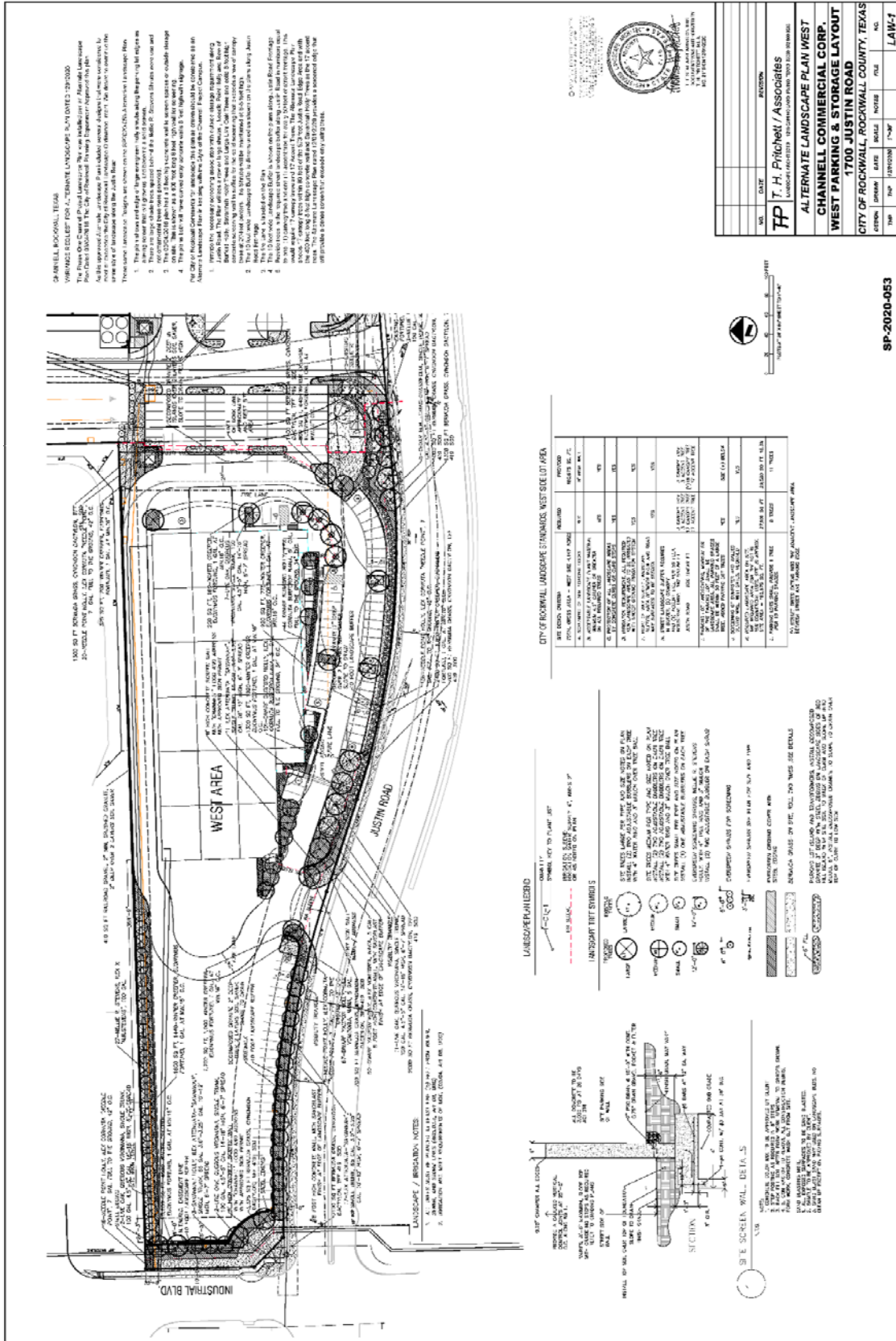
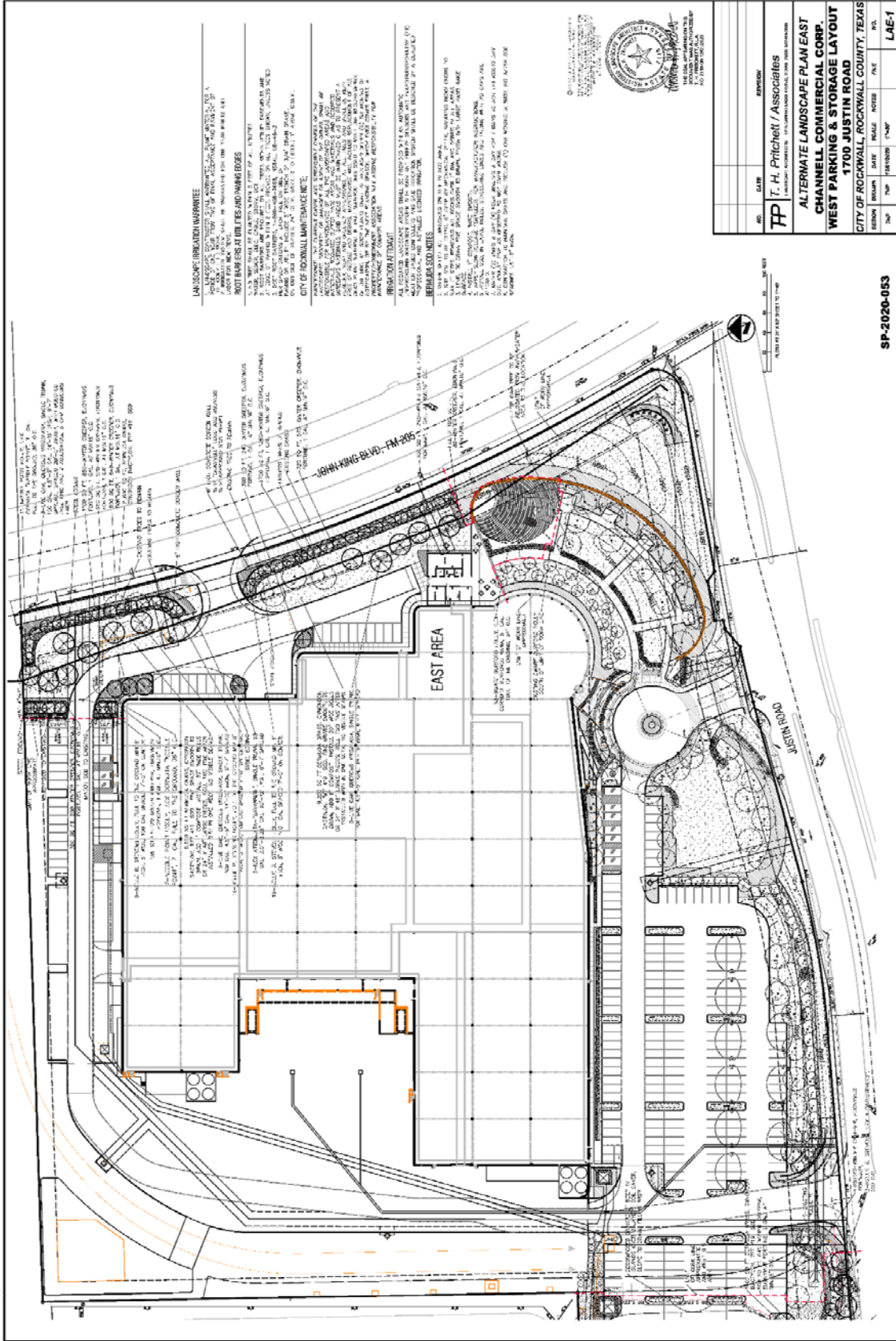


Exhibit 'G': Concept Landscape Plan



LANDSCAPE CONSULTANT INFORMATION
 T. H. PRITCHETT / ASSOCIATES
 1700 JUSTIN ROAD, SUITE 100, ROCKWALL, TEXAS 75087
 TEL: 972-962-1111 FAX: 972-962-1112
 WWW.THPA.COM

ROOT BARRIERS AT UTILITIES AND MANHOLES
 INSTALL ROOT BARRIERS AT ALL UTILITIES AND MANHOLES TO PREVENT ROOT INTRUSION INTO PAVEMENT AND DRIVEWAYS.

CITY OF ROCKWALL MAINTENANCE NOTE
 MAINTENANCE PERSONNEL SHOULD BE ADVISED THAT THIS PLAN SHOWS THE LOCATION OF ALL UTILITIES AND MANHOLES. ANY CHANGES TO THESE LOCATIONS SHOULD BE NOTIFIED TO THE CITY OF ROCKWALL MAINTENANCE DEPARTMENT.



NO.	DATE	REVISION
1	08/14/2020	ISSUE FOR PERMIT
2	08/14/2020	ISSUE FOR PERMIT
3	08/14/2020	ISSUE FOR PERMIT
4	08/14/2020	ISSUE FOR PERMIT
5	08/14/2020	ISSUE FOR PERMIT
6	08/14/2020	ISSUE FOR PERMIT
7	08/14/2020	ISSUE FOR PERMIT
8	08/14/2020	ISSUE FOR PERMIT
9	08/14/2020	ISSUE FOR PERMIT
10	08/14/2020	ISSUE FOR PERMIT

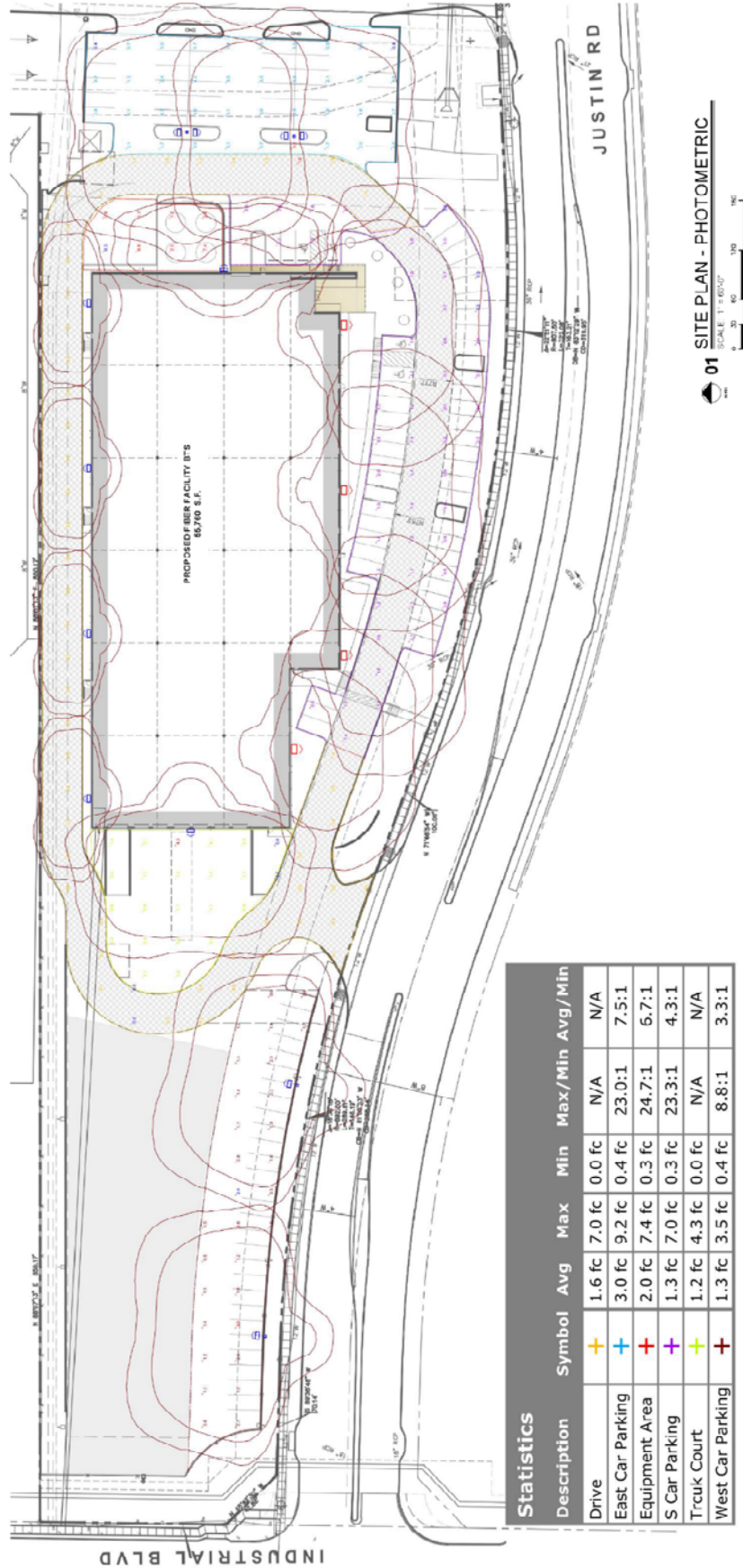
T. H. Pritchett / Associates
 1700 JUSTIN ROAD, SUITE 100, ROCKWALL, TEXAS 75087
 TEL: 972-962-1111 FAX: 972-962-1112
 WWW.THPA.COM

ALTERNATE LANDSCAPE PLAN EAST
CHANNELL COMMERCIAL CORP.
WEST PARKING & STORAGE LAYOUT
1700 JUSTIN ROAD
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

DATE: 08/14/2020
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: AS SHOWN
 SHEET NO.: LAE-1
 TOTAL SHEETS: 1

SP-2020-053

Exhibit 'H':
Concept Photometric Plan



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Drive	+	1.6 fc	7.0 fc	0.0 fc	N/A	N/A
East Car Parking	+	3.0 fc	9.2 fc	0.4 fc	23.0:1	7.5:1
Equipment Area	+	2.0 fc	7.4 fc	0.3 fc	24.7:1	6.7:1
S Car Parking	+	1.3 fc	7.0 fc	0.3 fc	23.3:1	4.3:1
Truck Court	+	1.2 fc	4.3 fc	0.0 fc	N/A	N/A
West Car Parking	+	1.3 fc	3.5 fc	0.4 fc	8.8:1	3.3:1

Exhibit '1':
Density and Development Standards

I.1 Purpose.

The purpose of this Planned Development District ordinance is to provide flexible design standards to accommodate an industrial campus that incorporates unique architecture and land uses that are otherwise not permitted in the Light Industrial (LI) District. These land uses include an industrial facility with corporate offices, a distribution center, a light assembly center, an amphitheater and pavilion, and outside storage.

I.2 Review Process.

All development on the *Subject Property* shall require site plan approval in accordance with Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). Upon submittal of a site plan, the Director of Planning and Zoning shall review the application and determine the following: [1] if the Director of Planning and Zoning determines that the site plan does generally conform to this Planned Development District ordinance then the site plan may be reviewed and approved administratively, or [2] if the Director of Planning and Zoning determines that the site plan does not generally conform to this Planned Development District ordinance then the site plan will be subject to review by the Architectural Review Board (ARB) [*if necessary*], and the Planning and Zoning Commission.

I.3 Planned Development District Standards.

- (1) Permitted Uses. Unless specifically provided for by this Planned Development District ordinance, only those uses permitted within the Light Industrial (LI) District and the SH-205 By-Pass Overlay (SH-205 BY OV) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
- (2) Development Standards. Unless specifically provided for by this Planned Development District ordinance, the development standards required for property in a Light Industrial (LI) District and the SH-205 By-Pass Overlay (SH-205 BY OV) District, as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), are applicable to any development on the *Subject Property*.
 - (a) Setbacks. The building setbacks shall be as stated by the Unified Development Code (UDC); however, the following exceptions shall be permitted:
 - (1) Justin Road. Concrete screening walls shall be permitted to be located a minimum of ten (10) feet from the property line adjacent to Justin Road; however, these screening walls shall not be located within 50-feet of John King Boulevard [*unless permitted to do so be I.3(2)(a)(2) below*].
 - (2) John King Boulevard. Concrete screening walls and other appurtenances associated with the amphitheater may be located within 20-feet of the property line adjacent to John King Boulevard.
 - (b) Materials. All materials shall generally conform to the materials depicted in the *Concept Building Elevations* contained in *Exhibit 'D'* of this Planned Development District ordinance; however, tilt-up walls with a sandblasted finish shall be permitted *by-right* on buildings and screening walls in conformance with all concept plans

Exhibit 'I':

Density and Development Standards

contained in *Exhibits 'C' – 'H'* of this Planned Development District ordinance.



MEMORANDUM

TO: Rick Crowley, City Manager

CC: Honorable Mayor and City Council

FROM: Ryan Miller, Director of Planning and Zoning

DATE: January 4, 2021

SUBJECT: P2020-051; LOT 1, BLOCK A, SDI ROCKWALL ADDITION

Attachments

Case Memo
Development Application
Location Map
Final Plat

Summary/Background Information

Consider a request by Bryan Connally of CBG Surveying, TX LLC on behalf of SDI S. Rockwall, LLC for the approval of a *Final Plat* for Lot 1, Block A, SDI Rockwall Addition being a 0.92-acre parcel of land identified as Lot 1, Block A, Mr. M Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, situated within the Scenic Overlay (SOV) District, addressed as 2901 Ridge Road, and take any action necessary.

Action Needed

The City Council is being asked to approve, approve with condition, or deny the final plat.



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: January 4, 2021
APPLICANT: Bryan Connally; *CBG Surveying, LLC*
CASE NUMBER: P2020-051; *Lot 1, Block A, SDI Rockwall Addition*

SUMMARY

Consider a request by Bryan Connally of CBG Surveying, TX LLC on behalf of SDI S. Rockwall, LLC for the approval of a Final Plat for Lot 1, Block A, SDI Rockwall Addition being a 0.92-acre parcel of land identified as Lot 1, Block A, Mr. M Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, situated within the Scenic Overlay (SOV) District, addressed as 2901 Ridge Road, and take any action necessary.

PLAT INFORMATION

- The applicant is requesting the approval of a final plat for Lot 1, Block A, SDI Addition being a 0.92-acre parcel of land currently identified as Lot 1, Block A, Mr. M Addition for the purpose of abandoning one (1) 20-foot cross access easement and realigning another 20-foot cross access easement.
- The subject property was annexed into the City of Rockwall on November 7, 1960 by *Ordinance No. 60-03*. On January 3, 1972, the City's historic zoning map indicates the subject property was zoned Agricultural (AG) District. On November 12, 1973, the City Council approved a zoning change for the subject property changing the zoning designation from an Agricultural (AG) District to Planned Development District 9 (PD-9) [*Ordinance No. 73-49*] for single-family, multi-family, and shopping center uses. On June 16, 1986, the City Council approved *Ordinance No. 86-55*, which amended the concept plan for PD-9 and repealed *Ordinance No. 73-49*. This ordinance established regulations for General Retail (GR) District land uses for the subject property. On February 1, 1987, the City Council approved a final plat [*Case No. PZ1987-73*] for the subject property designating it as Lot 1, Block A, Mr. M Addition. Currently situated on the subject property is a convenience store and fuel canopy that were vacated in ~2016. According to the Rockwall Central Appraisal District (RCAD) these improvements were constructed in 1988.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the final plat for Lot 1, Block A, SDI Rockwall Addition, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,

- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On December 29, 2020, the Planning and Zoning Commission approved a motion to recommend approval of the final plat with the conditions of approval by a vote of 5-0, with Commissioners Deckard and Womble absent.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre) ²
- Preliminary Plat (\$200.00 + \$15.00 Acre) ²
- Final Plat (\$300.00 + \$20.00 Acre) ²
- Replat (\$300.00 + \$20.00 Acre) ²
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre) ²
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre) ²
- Specific Use Permit (\$200.00 + \$15.00 Acre) ²
- PD Development Plans (\$200.00 + \$15.00 Acre) ²

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

² In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 2901 RIDGE ROAD

Subdivision 501 ROCKWALL ADDITION Lot 1 Block A

General Location Intersection of Ridge Road & Horizon Road

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-9 Current Use COMMERCIAL

Proposed Zoning PD-9 Proposed Use COMMERCIAL

Acreage 0.92 Lots [Current] 1 Lots [Proposed] 1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner <u>501 S. ROCKWALL, LLC</u>	<input type="checkbox"/> Applicant <u>CBG Surveying, TX LLC</u>
Contact Person <u>PETER T. SIVAN</u>	Contact Person <u>Bryan Connally</u>
Address <u>1800 W. LOOP S. SUITE 1850</u>	Address <u>12025 SHILOH ROAD, STE 238</u>
City, State & Zip <u>HOUSTON, TEXAS 77027</u>	City, State & Zip <u>DALLAS, TEXAS 75228</u>
Phone <u>713-892-5200 XT 105</u>	Phone <u>214-349-9485</u>
E-Mail <u>PSIVAN@501REALTY.COM</u>	E-Mail <u>BryanC@cbgtxllc.com</u>

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Charles Shears [Owner] the undersigned, who stated the information on this application to be true and certified the following:

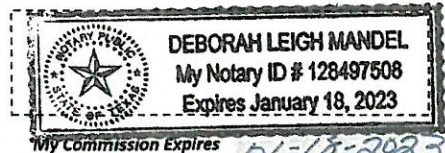
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 21st day of September, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

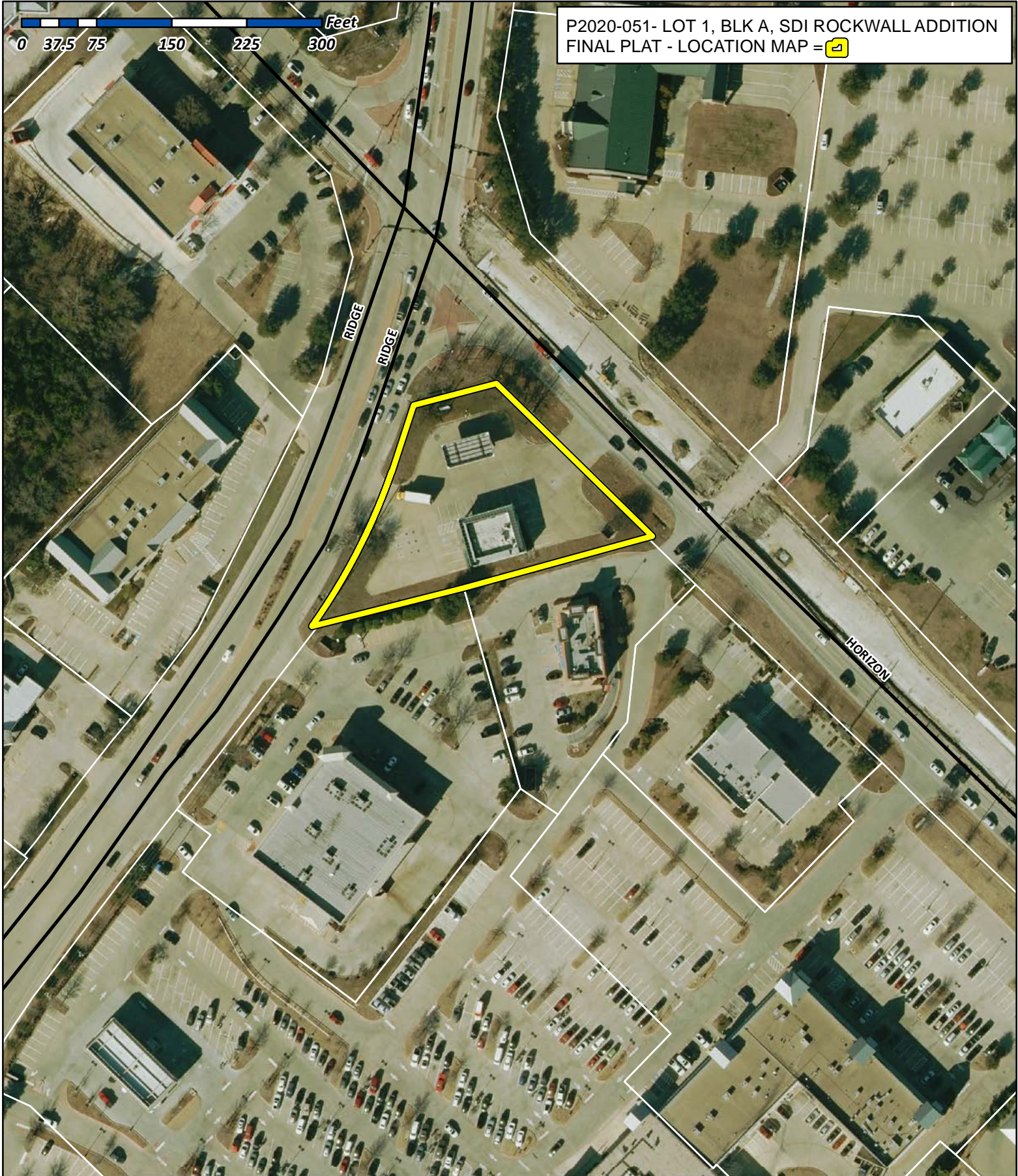
Given under my hand and seal of office on this the 21st day of September, 20 20.

Owner's Signature

Notary Public in and for the State of Texas

Charles Shears
Deborah Leigh Mandel





P2020-051- LOT 1, BLK A, SDI ROCKWALL ADDITION
 FINAL PLAT - LOCATION MAP =

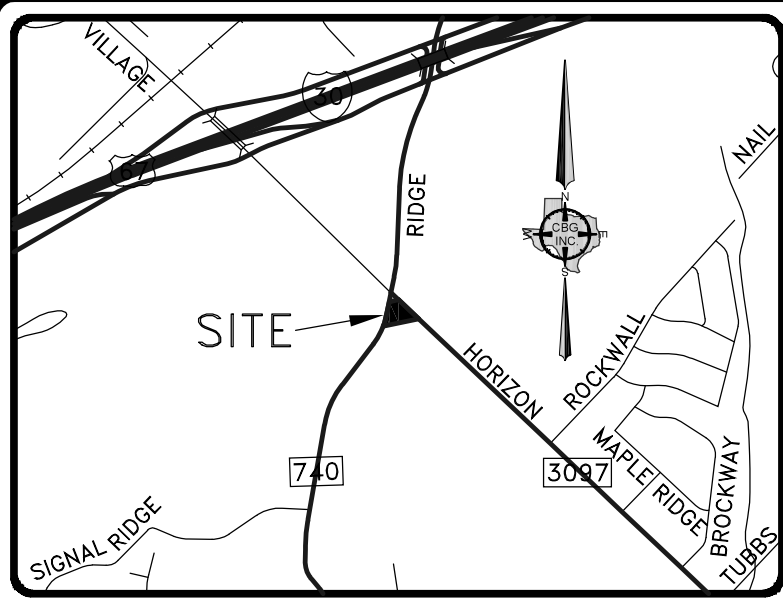


City of Rockwall

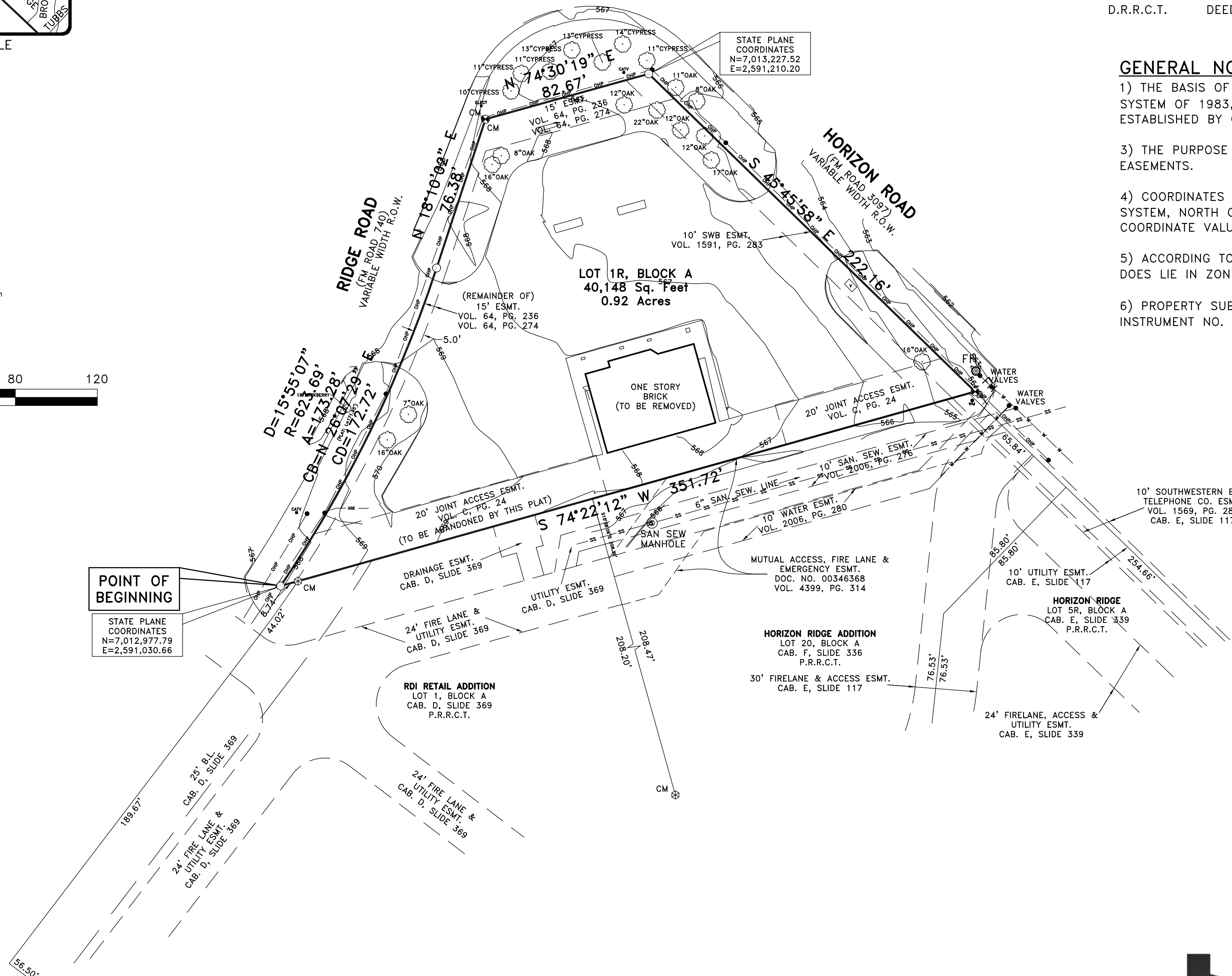
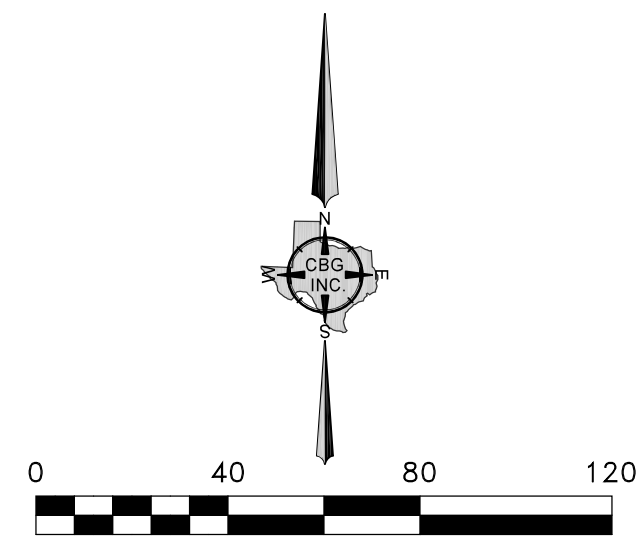
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

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VICINITY MAP - NOT TO SCALE



LEGEND:

- ⊗ =TXDOT MONUMENT FOUND
- ⊗ =1/2 INCH IRON ROD FOUND WITH YELLOW PLASTIC CAP STAMPED "NDM"
- =1/2 INCH IRON ROD FOUND WITH YELLOW PLASTIC CAP STAMPED "CBG SURVEYING"
- CM CONTROLLING MONUMENT
- VOL VOLUME
- PG PAGE
- R.O.W. RIGHT-OF-WAY
- SQ.FT. SQUARE FEET
- INST. NO. INSTRUMENT NUMBER
- O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
- P.R.R.C.T. PLAT RECORDS, ROCKWALL COUNTY, TEXAS
- D.R.R.C.T. DEED RECORDS, ROCKWALL COUNTY, TEXAS

GENERAL NOTES:

- 1) THE BASIS OF BEARINGS FOR THIS SURVEY IS THE TEXAS COORDINATE SYSTEM OF 1983, NORTH CENTRAL ZONE, (4202) GEODETIC BEARING ESTABLISHED BY GPS MEASUREMENTS.
- 3) THE PURPOSE OF THIS PLAT IS TO ABANDON (1) 20 FOOT JOINT ACCESS EASEMENTS.
- 4) COORDINATES SHOWN HEREON ARE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE, NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES, NO SCALE AND NO PROJECTION.
- 5) ACCORDING TO THE F.I.R.M. IN MAP NO. 48397C0040L, THIS PROPERTY DOES LIE IN ZONE X AND DOES NOT LIE WITHIN THE 100 YEAR FLOOD ZONE.
- 6) PROPERTY SUBJECT TO RECIPROCAL EASEMENT AGREEMENT RECORDED IN INSTRUMENT NO. 20200000019448, O.P.R.R.C.T.

POINT OF BEGINNING

STATE PLANE COORDINATES
N=7,012,977.79
E=2,591,030.66

STATE PLANE COORDINATES
N=7,013,227.52
E=2,591,210.20

SHEET 1 OF 2

PRELIMINARY PLAT
SDI ROCKWALL ADDITION
LOT 1R, BLOCK A
40,148 SQ.FT. / 0.92 ACRES
EDWARD TEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

CBG
SURVEYING TEXAS LLC
PROFESSIONAL LAND SURVEYORS
DFW - Houston - East Texas - Austin - San Antonio

PLANNING & SURVEYING
Main Office
12025 Shiloh Road, Ste. 230
Dallas, TX 75228
P 214.349.9485
F 214.349.2216
Form No. 10168800
www.cbginctx.com

OWNER: SDI S. ROCKWALL, LLC
1800 WEST LOOP SOUTH, SUITE 1850
HOUSTON, TEXAS 77027
PHONE: 713-892-5200 EXT. 105

SCALE: 1"=40' / DATE: 6/12/2020 / JOB NO. 2002465-02PLAT / DRAWN BY: TO

CASE NO. _____

OWNER'S DEDICATION

STATE OF TEXAS
COUNTY OF ROCKWALL

Whereas, SDI S. Rockwall, LLC, BEING THE OWNER OF A TRACT OF LAND in the County of Rockwall, State of Texas, said tract being described as follows:

Being a tract of land situated in the Edward Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, same being Lot 1, Block A, MR. M Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Volume C, Page 24, Plat Records, Rockwall County, Texas, same being a tract of land conveyed to SDI S. Rockwall, LLC by deed recorded in Instrument No. 20200000014387, Official Public Records, Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch iron rod found with yellow plastic cap stamped "CBG SURVEYING" for corner, said corner being along the East right of way line of Ridge Road (variable width right of way), said corner being the Southwest corner of Lot 1, Block A of said MR. M Addition, said corner being along a curve to the left, having a radius of 623.69 feet, a central angle of 15 degrees 55 minutes 07 seconds, a chord bearing of North 26 degrees 07 minutes 29 seconds East, a chord distance of 172.72 feet:

THENCE along said curve to the left and the East right of way line of said Ridge Road, an arc length of 173.28 feet to a 1/2 inch iron rod found with yellow plastic cap stamped "CBG SURVEYING" for corner;

THENCE North 18 degrees 10 minutes 02 seconds East along the East right of way line of said Ridge Road, a distance of 76.38 feet to a TxDot Monument found for corner;

THENCE North 74 degrees 30 minutes 19 seconds East, a distance of 82.67 feet to a 1/2 inch iron rod found with yellow plastic cap stamped "CBG SURVEYING" for corner, said corner being along the Southwest right of way line of Horizon Road (variable width right of way);

THENCE South 45 degrees 45 minutes 58 seconds East along the Southwest right of way line of said Horizon Road, a distance of 222.16 feet to a TxDot Monument found for corner;

THENCE South 74 degrees 22 minutes 12 seconds West, passing at a distance of 342.98 feet a 1/2 inch iron rod found with yellow plastic cap stamped "NDM" for corner, said corner being the Northwest corner of Lot 1, Block A, RDI Retail Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet D, Slide 369, Plat Records, Rockwall County, Texas, and continuing a total distance of 351.72 feet to the POINT OF BEGINNING and containing 40,148 square feet or 0.92 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We the undersigned owner(s) of the land shown on this plat, and designated herein as the SDI ROCKWALL ADDITION, LOT 1R, BLOCK A, an addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the SDI ROCKWALL ADDITION, LOT 1R, BLOCK A have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that We may have as a result of the dedication of exactions made herein.

By: _____
SDI S. Rockwall, LLC, Owner
Charles W. Shears, (Manager)

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Charles W. Shears, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this ____day of _____, _____.

By: _____

printed name: _____
Notary Public in and for the State of Texas

By: _____
SDI S. Rockwall, LLC, Owner
Kenneth Delery, (Manager)

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Kenneth Delery, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this ____day of _____, _____.

By: _____

printed name: _____
Notary Public in and for the State of Texas

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

SURVEYOR'S CERTIFICATE:

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Bryan Connally, a Registered Professional Land Surveyor, licensed by the State of Texas, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Dated this the _____ day of _____, _____
RELEASED FOR REVIEW 9/18/2020 PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSES AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

Bryan Connally
Texas Registered Professional Land Surveyor No. 5513

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Bryan Connally, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this ____day of _____, _____.

By: _____

printed name: _____
Notary Public in and for the State of Texas

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission _____ Date _____

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ____ day of _____.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall County, Texas within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this ____ day of _____, _____.

Mayor, City of Rockwall

City Secretary

City Engineer

(SHEET 2 OF 2)

PRELIMINARY PLAT
SDI ROCKWALL ADDITION
LOT 1R, BLOCK A
40,148 SQ.FT. / 0.92 ACRES
EDWARD TEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



OWNER: SDI S. ROCKWALL, LLC
1800 WEST LOOP SOUTH, SUITE 1850
HOUSTON, TEXAS 77027
PHONE: 713-892-5200 EXT. 105

SCALE: 1"=40' / DATE: 6/12/2020 / JOB NO. 2002465-02PLAT / DRAWN BY: TO

CASE NO. _____



MEMORANDUM

TO: Rick Crowley, City Manager

CC: Honorable Mayor and City Council

FROM: Ryan Miller, Director of Planning and Zoning

DATE: January 4, 2021

SUBJECT: P2020-053; LOT 1, BLOCK I, LAKE ROCKWALL ESTATES EAST ADDITION

Attachments

Case Memo
Development Application
Location Map
Replat

Summary/Background Information

Consider a request by J. W. Jones on behalf of Lupe Guardiola for the approval of a *Replat* for Lot 1, Block I, Lake Rockwall Estates East Addition being a 0.22-acre tract of land identified as Lot 1051 and a portion of Lot 1050 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 247 Chris Drive, and take any action necessary.

Action Needed

The City Council is being asked to approve, approve with condition, or deny the replat.



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: January 4, 2021
APPLICANT: J. W. Jones
CASE NUMBER: P2020-053; *Lot 1, Block I, Lake Rockwall Estates East Addition*

SUMMARY

Consider a request by J. W. Jones on behalf of Lupe Guardiola for the approval of a Replat for Lot 1, Block I, Lake Rockwall Estates East Addition being a 0.22-acre tract of land identified as Lot 1051 and a portion of Lot 1050 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 247 Chris Drive, and take any action necessary.

PLAT INFORMATION

- The applicant is requesting the approval of a replat for a 0.22-acre parcel of land identified as Lot 1051 and a portion of Lot 1050 of the Rockwall Lake Estates #2 Addition for the purpose of establishing one (1) lot (*i.e. Lot 1, Block I, Lake Rockwall Estates East Addition*).
- On April 23, 1968 the subject property was platted as Lots 1050 & 1051 of the Rockwall Lake Properties Development No. 2 Addition. Prior to 2006, Lot 1050 was subdivided by metes and bounds into two (2) equal tracts of land, and one-half was combined with Lot 1051 and one-half was combined with a portion of Lot 1049 by common ownership. On February 17, 2009, the subject property was annexed into the City of Rockwall by *Ordinance No. 09-07*. On September 21, 2009, the City Council rezoned the subject property from an Agricultural (AG) District to Planned Development District 75 (PD-75) [*Ordinance No. 09-37*] for Single-Family 7 (SF-7) District land uses. On January 4, 2016, the City Council amended Planned Development District 75 (PD-75) with *Ordinance No. 16-01*, which made minor changes to the *Consideration of a Special Request* section of the ordinance. On July 6, 2020, the City Council approved a Specific Use Permit (SUP) [*Ordinance No. 20-23; S-225*] for *Residential Infill in an Established Subdivision* to allow the construction of a ~2,624 SF single-family home on the subject property. On October 19, 2020, the City Council approved a special exception [*Case No. MIS2020-011*] at the property owner's request allowing a 17-foot front yard building setback adjacent to Chris Drive for the subject property.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the replat for *Lot 1, Block I, Lake Rockwall Estates East Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,

- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On December 29, 2020, the Planning and Zoning Commission approved a motion to recommend approval of the replat with the conditions of approval by a vote of 5-0, with Commissioners Deckard and Womble absent.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2020-053

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address: 247 CHRIS DR
 Subdivision: Rockwall Lake Properties Lot: 1051 Block: N/A
 General Location: South of Interstate 30

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning: Residential Current Use: Residential
 Proposed Zoning: N/A Proposed Use: Residential
 Acreage: N/A Lots [Current]: Lots [Proposed]: N/A

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	Lupe Guardiola	<input checked="" type="checkbox"/> Applicant	J.W. Jones
Contact Person		Contact Person	J.W. Jones
Address	247 CHRIS DRIVE	Address	555 N. 5th ST SUITE 113
City, State & Zip	Rockwall	City, State & Zip	GARLAND, TX 75040
Phone		Phone	214-535-2850
E-Mail		E-Mail	jay.jones1941@hotmail.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared GUADALUPE GUARDIOLA [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 320.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 22 day of November, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

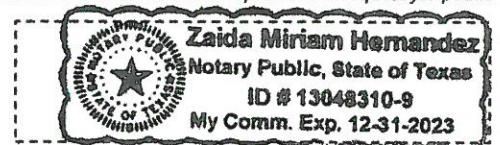
Given under my hand and seal of office on this the 11 day of November, 20 20.

Owner's Signature

Guadalupe Guardiola


Notary Public in and for the State of Texas

[Signature]



My Commission Expires

0 15 30 60 90 120 Feet

P2020-053 - LOT 1, BLOCK I, ROCKWALL LAKE ESTATES EAST
REPLAT - LOCATION MAP = 

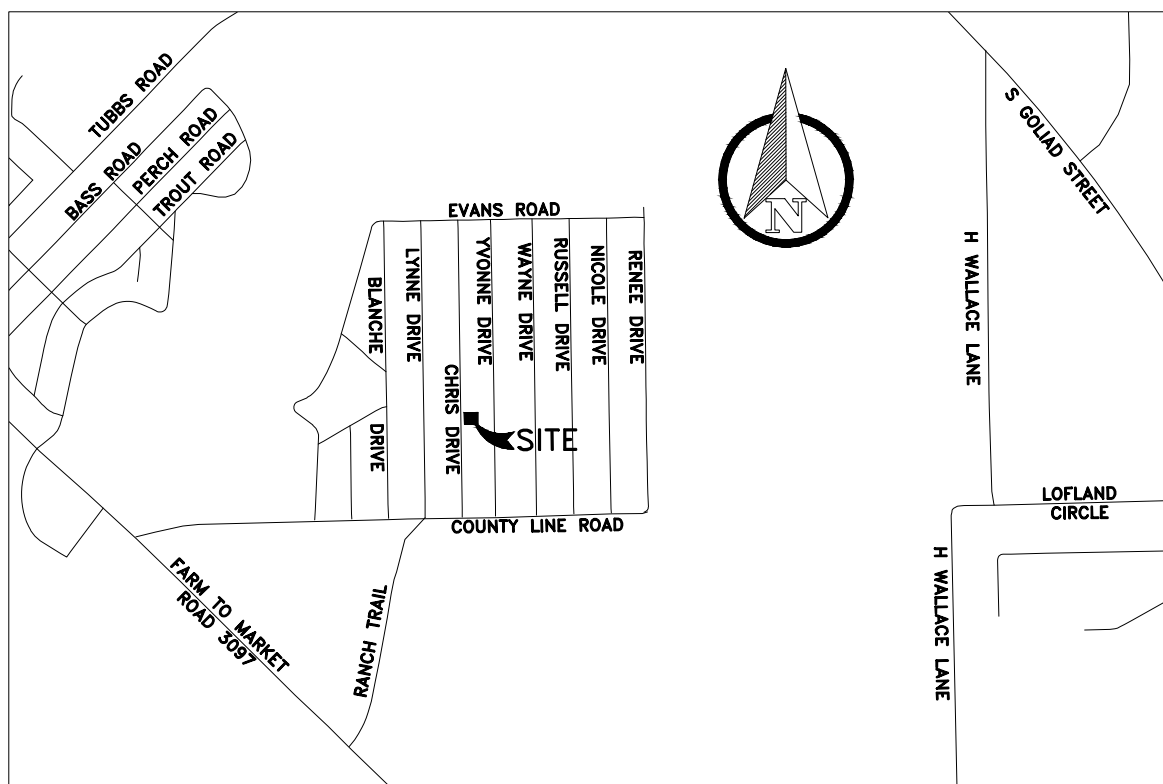


City of Rockwall

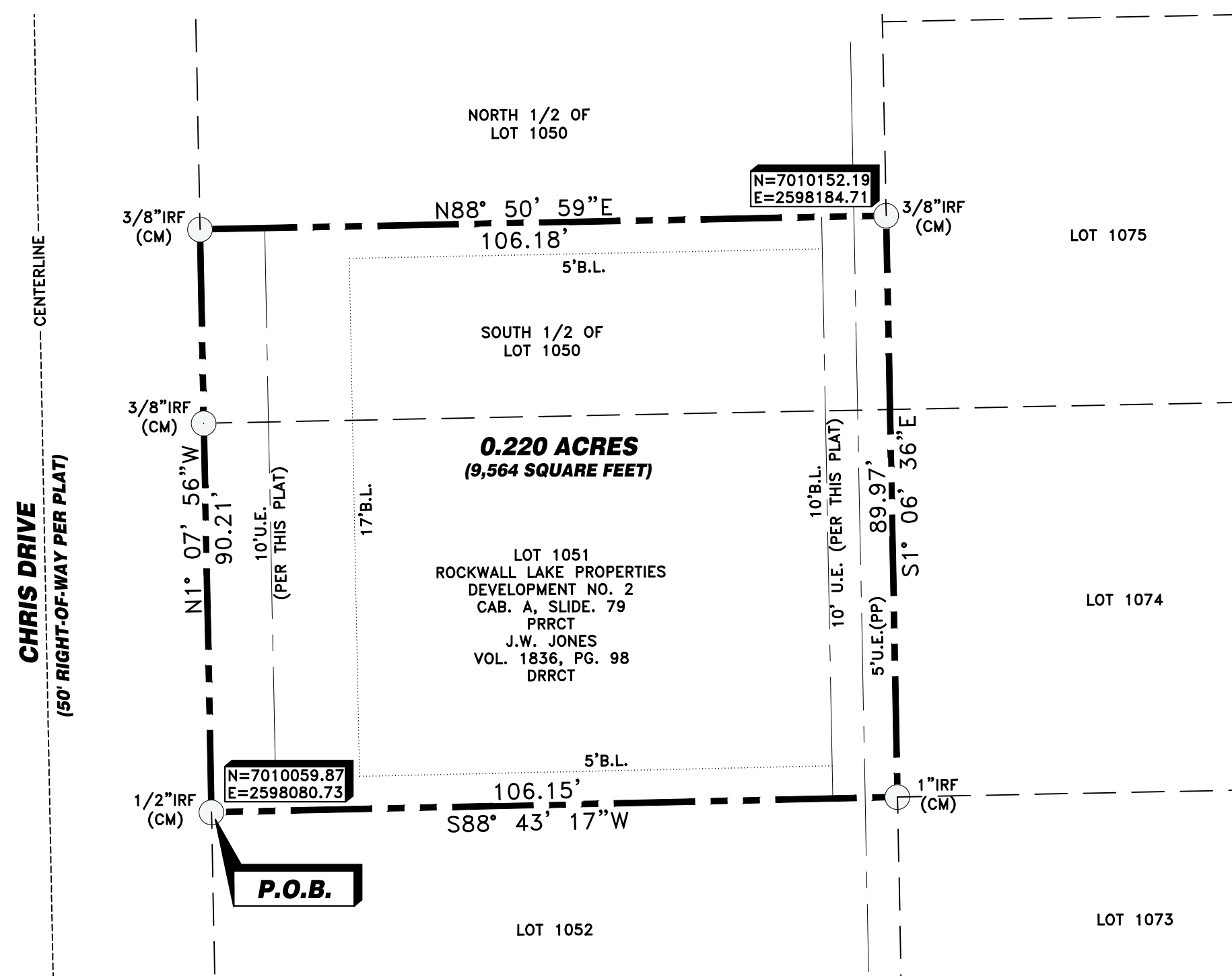
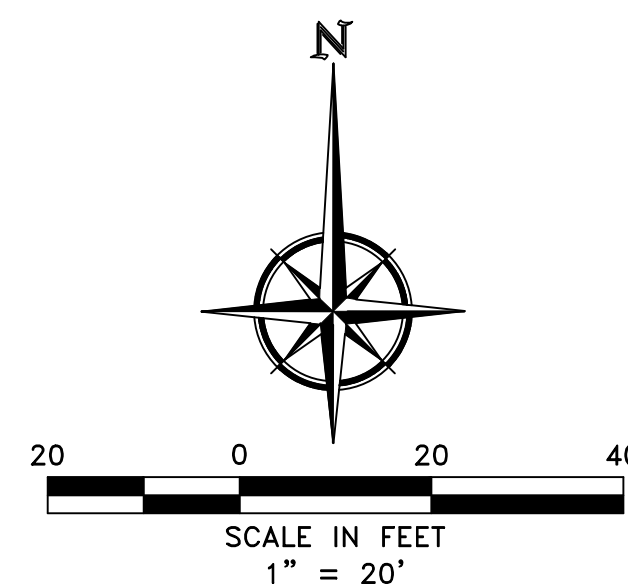
Planning & Zoning Department
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VICINITY MAP
N.T.S.



STANDARD NOTE
1. Selling off a portion of this addition by metes and bounds description, without a replat being approved by the City of Rockwall, is a violation of City ordinance and state law and is subject to fines and withholding of utilities and building permits.

GENERAL NOTES

- Bearing are based on State Plane Coordinate System, North Central Texas Zone 4202, North American Datum 1983(2011).
- Subject property is partially located within an area having a zone designation of "X" by the Secretary of Housing & Development on Flood Insurance Rate Map No. FEMA-MAP 48397C0040L, effective date of September 26, 2008, for Rockwall County, Texas.
- The City Council approved a 17 foot front yard setback on October 19, 2020 by Case No. MIs2020-011.

LEGEND

D.R.R.C.T.	DEED RECORDS OF ROCKWALL COUNTY, TEXAS
P.R.R.C.T.	PLAT RECORDS OF ROCKWALL COUNTY, TEXAS
POB	POINT OF BEGINNING
PKF	P.K.NAIL FOUND
IRF	IRON ROD FOUND
CM	CONTROL MONUMENT
PFC	POINT FOR CORNER
PP	PER PLAT CAB. A, SLIDE 79

SURVEYOR/ENGINEER:
TOM FIDLER (SURVEYOR)
MITCH LENAMOND (ENGINEER)
ERIC L. DAVIS ENGINEERING, INC.
P.O. BOX 2637
FORNEY, TX 75126
(972) 564-0592

OWNER:
GUADALUPE GUARDIOLA
247 CHRIS DRIVE
ROCKWALL, TEXAS 75032

DATE REVISED: 11/17/2020

REPLAT
ROCKWALL LAKE PROPERTIES
DEVELOPMENT NO. 2
LOT 1051-R
A REPLAT OF LOTS 1051 & S. 1/2 OF 1050
ROCKWALL LAKE PROPERTIES
DEVELOPMENT NO. 2
1 LOT PROPOSED
0.220 ACRES
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
SITUATED IN THE
GROVER WELLS SURVEY,
ABSTRACT NO. 219
ROCKWALL COUNTY, TEXAS

OWNERS CERTIFICATE
STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, GUADALUPE GUARDIOLA is the owner of a 0.220 acre tract of land out of the Grover Wells Survey, Abstract No. 219, City of Rockwall, Rockwall County, Texas, and being all Lot 1051 and the south half of Lot 1050 of the Rockwall Lake Properties, an Addition to the City of Rockwall, recorded in Cabinet A, Slide 79 of the Plat Records of Rockwall County, Texas (PRRCT), and this tract being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner in the east right-of-way line of Chris Drive (a 50' right-of-way per last mentioned Addition) at the southwest corner of said Lot 1051 common to the northwest corner of Lot 1052 of last mentioned Addition;

THENCE North 01°07'56" West, along the east right-of-way line of said Chris Drive and the west lines of said lot 1051 and Lot 1050, a distance of 90.21 feet, to a 3/8" iron rod found for corner thereof;

THENCE North 88°50'59" East, across said Lot 1050, a distance of 106.18 feet, to a 3/8" iron rod found for corner in the east line of said Lot 1050 common to the west line of Lot 1075 of last mentioned Addition;

THENCE South 01°06'36" East, along the east lines of said Lot 1050 and Lot 1051 common to the west lines of said Lot 1075 and Lot 1074 of last mentioned Addition, a distance of 89.97 feet, to a 1" iron rod found for corner at the southeast corner of said Lot 1051 common to the southwest corner of said Lot 1074, the northeast corner of said Lot 1052, and the northwest corner of Lot 1073 of last mentioned Addition;

THENCE South 88°43'17" West, along the south line of said Lot 1051 common to the north line of said Lot 1052, a distance of 106.15 feet, to the POINT OF BEGINNING and containing 9,564 square feet, or 0.220 acres, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

GUADALUPE GUARDIOLA, the undersigned owner of the land shown on this plat, and designated herein as ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2, LOT 1051-R, a subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2, LOT 1051-R subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
 - Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
 - The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
 - The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
 - The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
 - No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or
- Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.
- Property owners are responsible for maintenance, repair and replacement of all retaining walls and drainage and detention systems in easements.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

FOR: GUADALUPE GUARDIOLA
BY: GUADALUPE GUARDIOLA

BY: _____
Guadalupe Guardiola

FOR: _____ (LIEN HOLDER)

BY: _____ NAME: _____
TITLE: _____

NOTARY CERTIFICATE

STATE OF _____

COUNTY OF _____

Before me, the undersigned authority, a Notary Public in and for the said County and State on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and in the capacity therein stated and as the act and deed therein stated.

Given under my hand and seal of office, this _____ day of _____, 2020.

Notary Signature

Notary Stamp:

APPROVAL CERTIFICATE

Planning & Zoning Commission, Chairman _____ Date _____

APPROVED:

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2018.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this __ day of _____, 2020.

Mayor, City of Rockwall City Secretary City Engineer

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

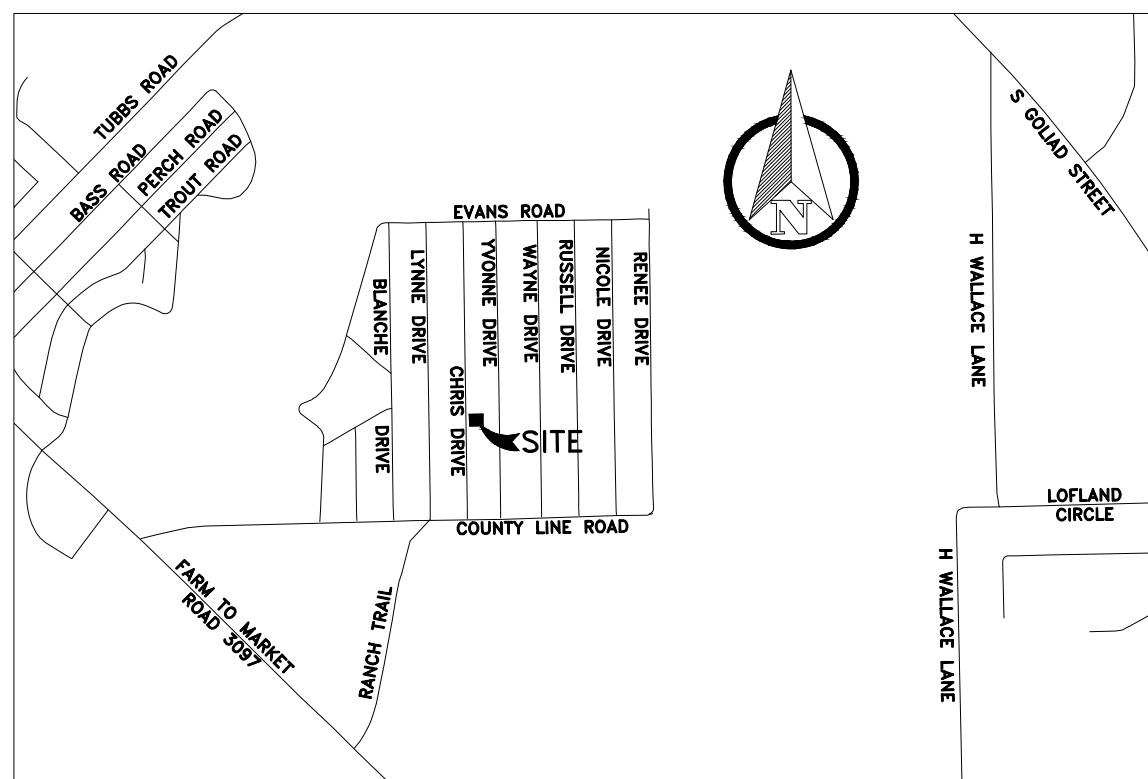
That I, Tom Fidler, do hereby certify that this plat was prepared from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

GIVEN UNDER MY HAND AND SEAL THIS ___ DAY OF _____, 2020.

TOM FIDLER
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS NO. 3940

STANDARD NOTE

1. Selling off a portion of this addition by metes and bounds description, without a replat being approved by the City of Rockwall, is a violation of City ordinance and state law and is subject to fines and withholding of utilities and building permits.



VICINITY MAP
N.T.S.

SURVEYOR/ENGINEER:
TOM FIDLER (SURVEYOR)
MITCH LENAMOND (ENGINEER)
ERIC L. DAVIS ENGINEERING, INC.
P.O. BOX 2637
FORNEY, TX 75126
(972) 564-0592

OWNER:
GUADALUPE GUARDIOLA
247 CHRIS DRIVE
ROCKWALL, TEXAS 75032

DATE REVISED: 11/17/2020

REPLAT
ROCKWALL LAKE
PROPERTIES
DEVELOPMENT NO. 2
LOT 1051-R
A REPLAT OF LOTS 1051 & S. 1/2 OF 1050
ROCKWALL LAKE PROPERTIES
DEVELOPMENT NO. 2
1 LOT PROPOSED
0.220 ACRES
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
SITUATED IN THE
GROVER WELLS SURVEY,
ABSTRACT NO. 219
ROCKWALL COUNTY, TEXAS



City of Rockwall
The New Horizon

MEMORANDUM

TO: Rick Crowley, City Manager
Mary Smith, Asst. City Manager

CC: Honorable Mayor and City Council

FROM: Shawn Yerks, Director of Human Resources

DATE: January 4, 2021

SUBJECT: Emergency Paid Sick Leave Extension

On March 18, 2020, President Trump signed into law The Families First Coronavirus Response Act (FFCRA) which creates two new emergency paid leave requirements in response to the COVID-19 pandemic. The Emergency Paid Sick Leave Act (EPSLA), entitles certain employees to take up to two weeks of paid sick leave. The Emergency Family and Medical Leave Expansion Act (EFMLEA) permits certain employees to take up to twelve weeks of expanded family and medical leave, ten of which are paid, for specified reasons related to COVID-19. In general, the FFCRA required covered employers to provide eligible employees up to two weeks of paid sick leave at full pay, up to a specified cap, when the employee is unable to work because the employee is subject to a Federal, State, or local quarantine or isolation order related to COVID-19.

The City has been providing EPSLA and EFMLEA since April 1, 2020. The provisions under FFCRA had an expiration of December 31, 2020. The new bill does not extend this time limit. The primary effect of the new bill is to amend the tax credit portions of the FFCRA to extend the time from December 31, 2020 to March 31, 2021 in order to encourage employers to voluntarily continue providing the benefits. However, each of the applicable sections providing the tax credit (Section 7001 and 7003) expressly provide that the tax credits: "shall not apply to the Government of the United States, the government of any State or political subdivision thereof, or any agency or instrumentality of any of the foregoing." These sections were not affected by the new bill, and thus the extension of the tax credits will not apply to government employers. While Congress included measures to encourage private employers to continue voluntarily paying out this leave through tax credits, because public employers do not have the benefit of such tax credits, public employers are in a different situation. With that said, neither law prohibits public employers from continuing to provide such extended benefits through March 31, 2021, even though government employers are not required to do so.

In order to encourage employees to continue reporting exposures and to self-isolate at home rather than come to work, we are asking Council to consider authorizing the City Manager to execute a new Administrative Directive to extend EPSLA benefits through March 31, 2021. This would apply to exposures at work and on personal time. Council is not being asked to consider extending EFMLEA.

CITY OF ROCKWALL

ORDINANCE NO. 21-01

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING SECTION 06.15, LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT, AND CREATING SECTION 07.05, LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT DEVELOPMENT STANDARDS, OF ARTICLE 05, DISTRICT DEVELOPMENT STANDARDS, AS DEPCITED IN EXHIBIT 'A' AND EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, an amendment to the City of Rockwall's Unified Development Code [*Ordinance No. 20-02*] has been initiated by the City Council of the City of Rockwall to amend Section 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, and create Section 07.05, *Lake Ray Hubbard Takeline Overlay (TL OV) District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*]; and,

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the city's corporate boundaries, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That Section 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended as specifically described in *Exhibit 'A'* of this ordinance;

SECTION 2. That Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, shall be amended to create Section 07.06, *Lake Ray Hubbard Takeline Overlay (TL OV) District Development Standards*, as described in *Exhibit 'B'* of this ordinance;

SECTION 3. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 4. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [*Ordinance No. 04-38*], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 5. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 4TH DAY OF JANUARY, 2021.

Jim Pruitt, Mayor

ATTEST:

Kristy Cole, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: December 21, 2020

2nd Reading: January 4, 2021

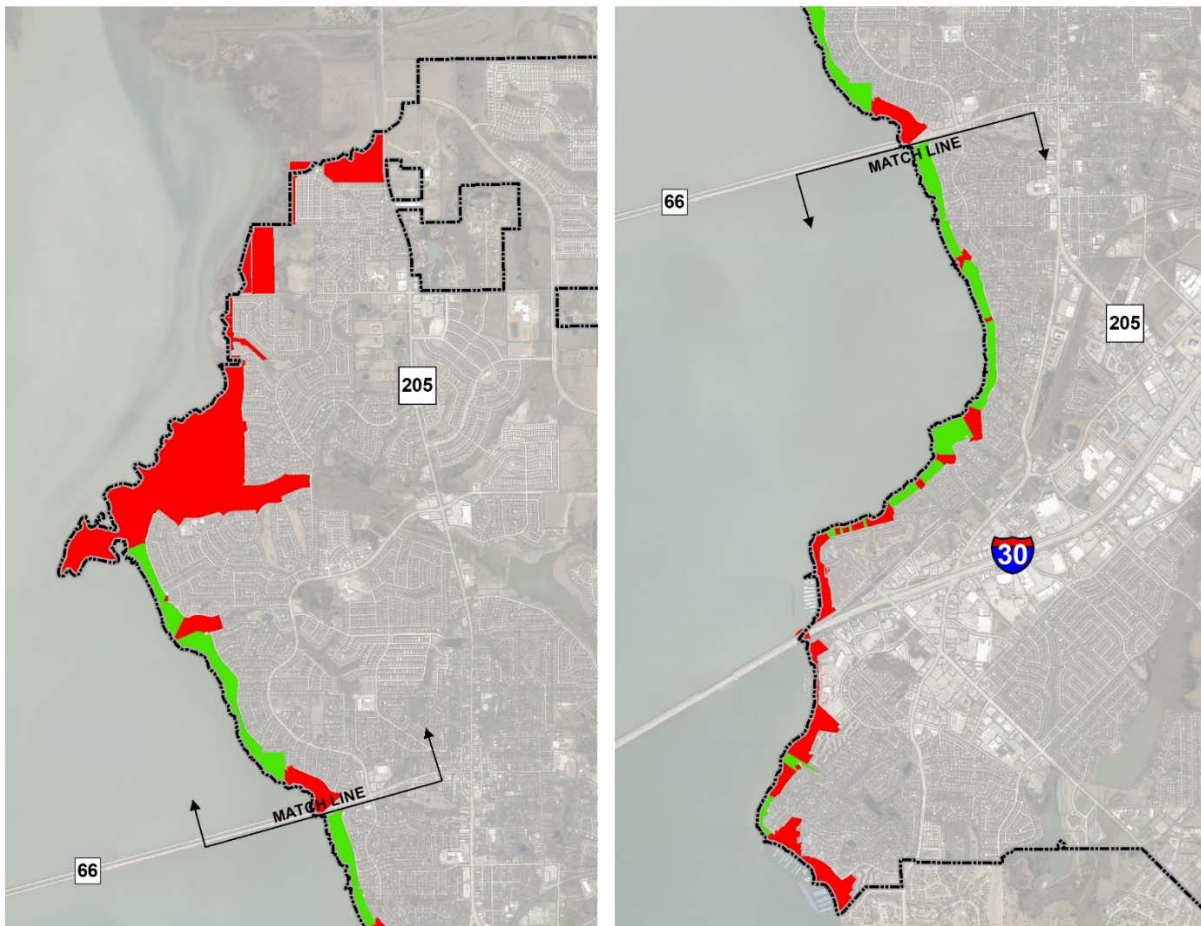
Exhibit 'A'

Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of Article 05, Development Standards, of the Unified Development Code (UDC)

- (A) **Purpose.** The purpose of the Lake Ray Hubbard Takeline Overlay (TL OV) District is to permit the development of property along the shoreline of Lake Ray Hubbard under certain regulatory conditions governing permitted uses and development standards, setting forth the procedures for the development of said property, and establishing an appeal process for the development standards of the district. This zoning district has its basis in and is intended serve as an implementation tool for the Lake Ray Hubbard Master Plan (adopted by the City of Dallas), the Lake Ray Hubbard Interlocal Agreement as approved by those municipalities comprising the Lake Cities Coalition (i.e. Garland, Rockwall, and Rowlett) and the City of Dallas, and the OURHometown Vision 2040 Comprehensive Plan. The adoption of this zoning district is intended to provide a means for the protection of water quality

- (B) **Boundaries.** The Lake Ray Hubbard Takeline (TL OV) District includes all property that is located between the City of Dallas Takeline as shown on the boundary map for Lake Ray Hubbard (i.e. File 612D-1 on file in the City of Dallas Records Vault and depicted below in Figure 26, Lake Ray Hubbard Takeline [TL OV] District Map) and the meandering of the contour line 435.5-foot sea level elevation. In addition, Figure 27: Elevation Contours, shows the elevation zones used to delineate where certain land uses are permitted.

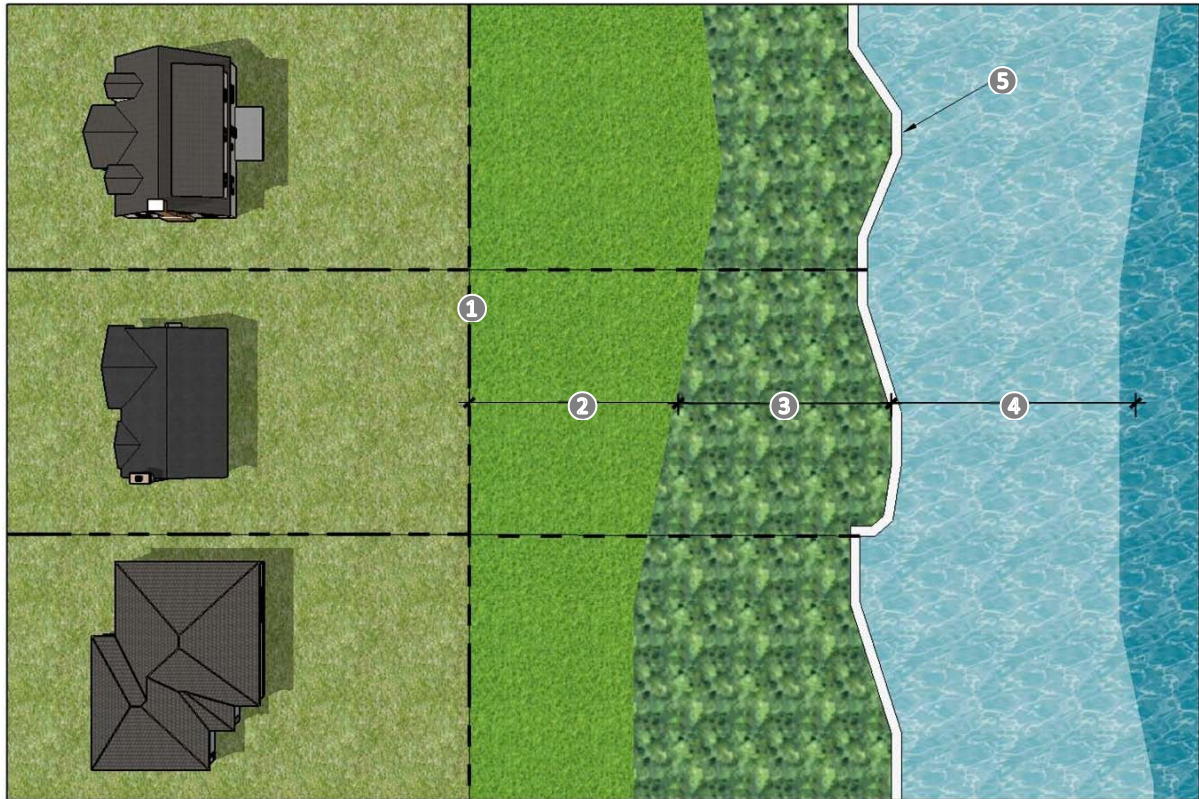
FIGURE 26: LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT MAP



RED: NON-LEASEABLE PROPERTY; GREEN: LEASABLE PROPERTY

Exhibit 'A'
 Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
 Article 05, Development Standards, of the
 Unified Development Code (UDC)

FIGURE 27: ELEVATION CONTOUR ZONES



: REAR PROPERTY LINE/TAKE LINE; : 438.0 ELEVATION ZONE; : 435.5 ELEVATION ZONE; : 425.5 ELEVATION ZONE; : SEAWALL;

(C) Applicability.

- (1) Applicable Lots. The standards set forth within Subsection 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, shall apply only to those lots within the takeline that are zoned and used for detached, single-family residential land uses, and that either have a minimum lot width of 45-feet when measured at the front building line or a minimum width of 35-feet at the front building line when located on a curved street or cul-de-sac that are eligible to lease. The properties eligible to lease the takeline area are depicted in Figure 26: Lake Ray Hubbard Takeline Overlay (TL OV) District Map above.
- (2) Exceptions for Lots Not Meeting the Applicability Standards. The City Council shall have the authority to consider special exceptions to the eligibility standards set forth within this section that apply to those lots within the Lake Ray Hubbard Takeline Overlay (TL OV) District that are zoned and used for detached, attached, or zero-lot-line single-family residential land uses and meet the minimum lot width requirements as prescribed in Subsection 06.15(B)(1) above.

(D) Definitions. The terms used in this section shall be as defined in this Unified Development Code (UDC), the Lake Ray Hubbard Interlocal Agreement, and the sublease agreements prepared by the City of Rockwall. For specific land use definitions refer to Subsection (J), Specifications for Permitted Land Uses. In addition, the following terms shall be defined as follows:

- (1) Catwalk. The narrow walkway of a dock providing people access to moored watercraft.
- (2) Centerline. An established line that is equidistant from the surface or sides of something (e.g. *parcel boundaries*).
- (3) Cleat. A metal fitting with two (2) projecting pieces used to wrap a rope around to secure a watercraft in position.
- (4) Dredging. The process of deepening a waterway for the safe and efficient movement of watercraft by the removal of dirt either by digging or by suction.

Exhibit 'A'

**Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)**

- (5) Habitable Structure. A structure fit for human habitation usually containing amenities (e.g. fireplace, furniture, plumbing, bathing facilities, and cooking facilities). Structures allowed by this section shall not be habitable structures and may not contain such amenities.
 - (6) Lake. Refers to Lake Ray Hubbard.
 - (7) Lake Area. The City of Dallas property, known as Lake Ray Hubbard, that is normally submerged by the lake at a normal lake pool elevation (i.e. property at or below an elevation of 435.5-feet mean sea level).
 - (8) Leased Area. Means the take area that is within the corporate limits of the City of Rockwall, or where the takeline is directly adjacent to the corporate limits of the City of Rockwall.
 - (9) Lift. A temporary means of elevating a watercraft out of the water by use of a hoist.
 - (10) Locker Box. A secured chest fixed onto a dock used for storage of watercraft equipment.
 - (11) Moor. Securing a watercraft to a fixed object such as a fixed cleat on a seawall while the watercraft is still in the water.
 - (12) Mooring. A place where a watercraft can be tied up and secured while in the water (e.g. a slip) for not more than 156-consecutive hours.
 - (13) Power Source Station. Used as a power supply for lighting a dock just below watercraft level.
 - (14) Shoreline. Refers to the line along the shore of the lake, established by the normal lake pool elevations (i.e. 435.5-feet mean sea level).
 - (15) Slip. A watercraft's berth between two (2) piers or between finger piers.
 - (16) Take or Takeline Area. Refers to the land owned by Dallas between the takeline and the normal lake pool elevations (i.e. 435.5-feet mean sea level).
 - (17) Treated Wood. Wood treated by the impregnation or application of chemical solutions or chemical mixtures for the purpose of retarding or preventing deterioration or destruction cause by insects, fungi, bacteria, or other wood destroying organisms.
 - (18) View Clear Zone. The area within the view preservation angle where no new structures or plantings shall exceed six (6) feet above the existing grade to maintain neighboring views.
 - (19) View Corridor. A sight passage recognized as holding an intangible asset for a property owner and for a community due to the unique visual qualities of distant terrain, woodlands, wetlands, grasslands, skylines, and manmade lakes expressed through a view preservation angle from either a generally recognized center point or various center points along a road corridor or public view area (see Figure Subsection (E): Visual Measurements for View Corridors).
 - (20) View Preservation Angle. The angle determined as the line extending from the center point -- or 30-foot point depending on lot size -- along the quarter distance line of the leased area extending back toward the opposite corner where the takeline area crosses the lease area's side yard (see Figure 28: Visual Measurements for View Corridors).
 - (21) Watercraft (or Boat). A craft for water transport. Examples of watercrafts are as follows:
 - (a) Motorized Boat. A boat propelled by an internal combustion engine.
 - (b) Sail Boat. A boat with a mast and sail propelled by the wind.
- (E) Visual Measurements for View Corridors.

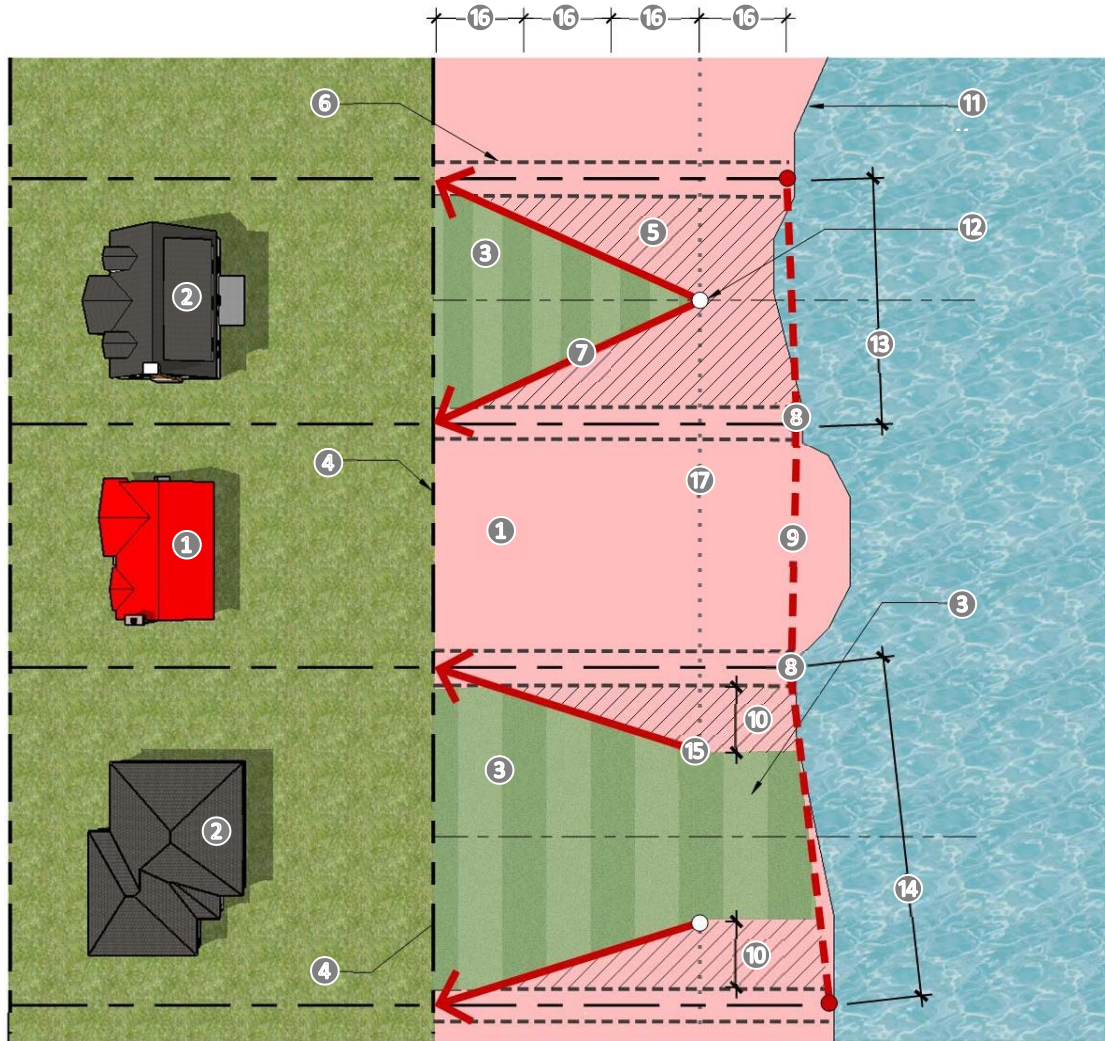
Exhibit 'A'

**Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)**

- (1) View Corridors. View clear zones are established to protect a property owner's views of the lake and to maintain the aesthetic value of the lake's shoreline. The view clear zones for the takeline areas are established by the shoreline frontage of the takeline lease area. This measurement is determined by projecting the lease areas side yards to the normal pool elevation (*i.e.* 435.5-foot mean sea level), and connecting these two (2) points in a straight line (*see Figure 28: Visual Measurements for View Corridors*). Based on this linear measurement, the view clear zones are determined by the following:
 - (a) Lots That Have Less Than 100-Feet of Shoreline Frontage. The view corridor for lots that have less than 100-feet of shoreline frontage is defined by the view preservation angle determined as the quarter distance (*i.e.* 25%) center point from the shoreline frontage line along the centerline of the leasing property owner's side yard with the angle running from the quarter distance center point to the opposite corners where the takeline area crosses the lease area's side yard. Those areas that fall inside of the view clear zones will be restricted from any type of new improvements or plantings exceeding six (6) feet in height with the exception of boat-related uses, which will be allowed by an administrative exception in accordance with Subsection (F)(2)(d).
 - (b) Lots That Have More 100-Feet or More Shoreline Frontage. The view corridor for lots that have 100-feet or more shoreline frontage are defined by the view preservation angle determined as the quarter distance (*i.e.* 25%) line projected from the shoreline frontage line extending from the leasing property owner's side yard 30-feet along the quarter distance line and running from this point to the opposite corners where the takeline area crosses the lease area's side yard, and in a straight line from the 30-foot point on the quarter distance line to the shoreline frontage line. Those areas that fall inside of the view clear zones will be restricted from any type of new improvements or plantings exceeding six (6) feet in height with the exception of boat-related uses, which will be allowed by an administrative exception in accordance with Subsection (F)(2)(d).

Exhibit 'A'
 Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
 Article 05, Development Standards, of the
 Unified Development Code (UDC)

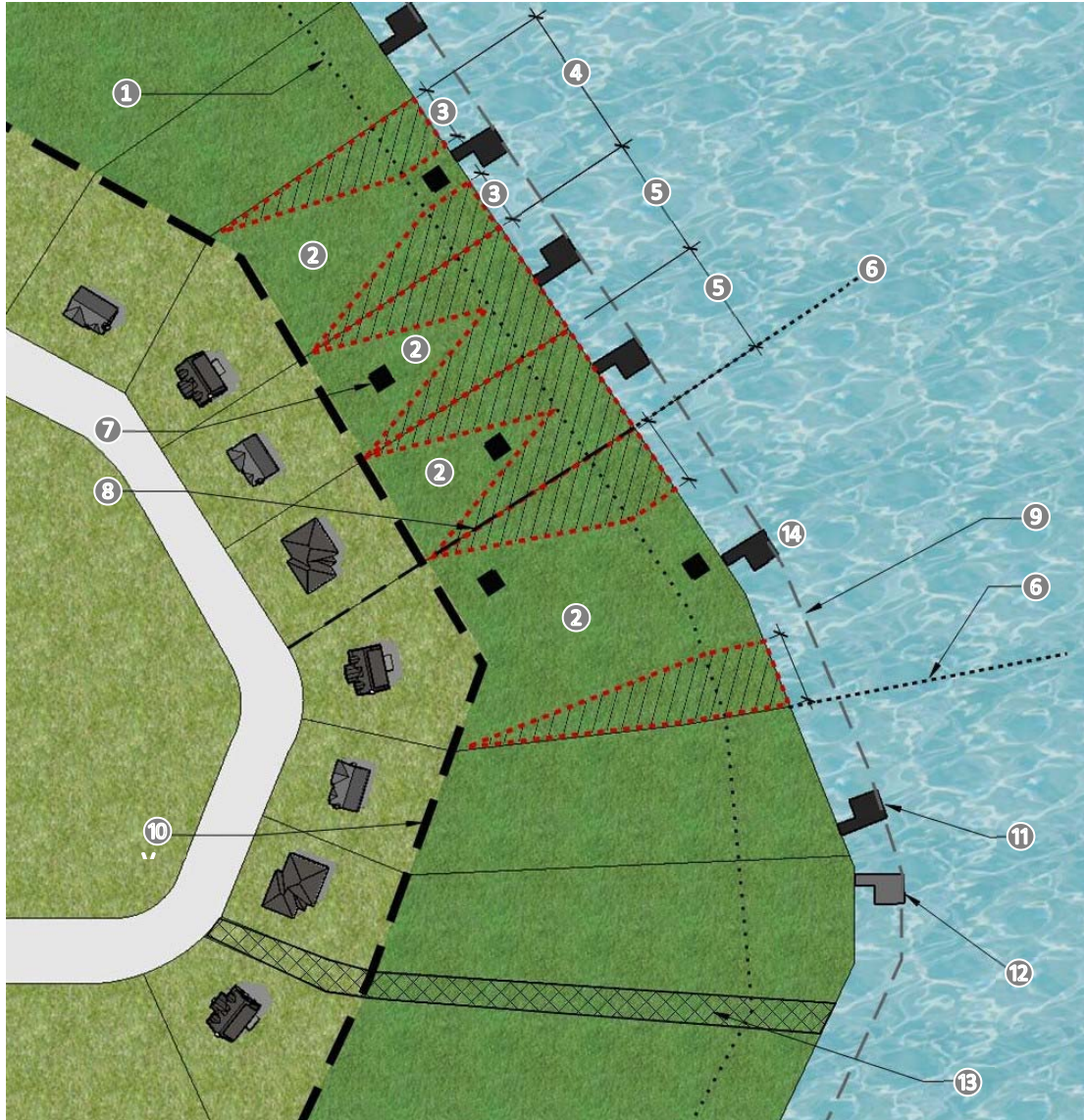
FIGURE 28: VISUAL MEASUREMENTS FOR VIEW CORRIDORS



1 : SUBJECT PROPERTY'S AND ITS VIEW CORRIDOR (PINK AREA); 2 : NEIGHBORING PROPERTY; 3 : NEIGHBORING PROPERTY'S BUILDABLE AREA (GREEN LINED AREA); 4 : REAR PROPERTY LINE/TAKELINE; 5 : VIEW CLEAR ZONE (LINED AREA); 6 : LEASE AREA SIDE YARD SETBACK; 7 : VIEW PRESERVATION ANGLE; 8 : THE INTERSECTION OF THE 435.5 ELEVATION LINE AND THE LEASE AREA'S SIDE YARD; 9 : SHORELINE FRONTAGE LINE (ESTABLISHED BY CONNECTING THE TWO [2] POINTS IN A STRAIGHT LINE); 10 : 30-FOOT; 11 : SHORELINE; 12 : CENTER POINT AT THE QUARTER DISTANCE LINE; 13 : A LOT WITH A SHORELINE FRONTAGE LESS THAN 100-FEET; 14 : A LOT WITH A SHORELINE FRONTAGE 100-FEET OR MORE; 15 : 30-FOOT POINT ON THE QUARTER DISTANCE LINE; 16 : 25% OF THE TAKELINE AREA; 17 : QUARTER DISTANCE LINE.

Exhibit 'A'
 Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
 Article 05, Development Standards, of the
 Unified Development Code (UDC)

FIGURE 29: EXAMPLES OF VISUAL MEASUREMENTS FOR VIEW CORRIDORS AND STRUCTURE PLACEMENT



1 : QUARTER DISTANCE LINE; 2 : BUILDABLE AREA; 3 : 30-FOOT; 4 : A LOT WITH A SHORELINE FRONTAGE LINE 100-FOOT OR MORE; 5 : A LOT WITH A SHORELINE FRONTAGE LINE LESS THAN 100-FOOT; 6 : LEASE AREA'S PROJECTED SIDE YARD; 7 : STRUCTURE BUILT IN THE 438.0 ELEVATION ZONE; 8 : LEASE AREA'S SIDE YARD; 9 : 40-FOOT BUILDING LINE; 10 : REAR PROPERTY LINE/TAKELINE; 11 : EXISTING BOATHOUSE; 12 : BOATHOUSE LOCATION APPROVED ADMINISTRATIVELY BECAUSE OF DRAINAGE EASEMENT AND CLUSTERED WITH AN EXISTING BOATHOUSE; 13 : DRAINAGE EASEMENT; 14 : BOATHOUSE AND STRUCTURE IN THE 435.5 ELEVATION ZONE GENERALLY CENTERED IN THE LEASE AREA BEHIND THE PRIMARY STRUCTURE.

(F) General Requirements. The following general requirements shall apply for all property in the takeline area.

(1) Number of Permitted Structures. The following is the maximum number of structures that shall be permitted in each elevation zone (*NOTE: in this case a structure is defined as any of the permitted uses specified in Subsection (J), Specifications for Permitted Land Uses that exceeds six [6] feet in height*):

- (a) 438.0 Elevation Zone. Two (2) structures shall be permitted in the 438.0 Elevation Zone.
- (b) 435.5 Elevation Zone. One (1) structure shall be permitted in the 435.5 Elevation Zone.

Exhibit 'A'

**Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)**

- (2) General Location of Permitted Structures. The following requirements relate to where structures should be generally located in each elevation zone (*NOTE: in this case a structure is defined as any of the permitted uses specified in Subsection (J), Specifications for Permitted Land Uses that exceeds six [6] feet in height*):
- (a) 438.0 Elevation Zone. Structures in the *438.0 Elevation Zone* should be located outside of the view clear zones unless specifically permitted to be in the view clear zone by Subsection (J), Specifications for Permitted Land Uses.
 - (b) 435.5 Elevation Zone. Structures in the *435.5 Elevation Zone* should be generally centered in the lease area -- *equal distance from both leased side yard boundary lines* -- behind the primary structure on the leasing property and outside of the view clear zones unless specifically permitted to be in the view clear zone by Subsection (J), Specifications for Permitted Land Uses.
 - (c) 425.5 Elevation Zone. Structures located in the *425.5 Elevation Zone* should be generally centered along the shoreline -- *equal distance from both the leased side yard boundary lines* -- behind the primary structure of the leasing property.
 - (d) Administrative Exception for the 435.5 & 425.5 Elevation Zone. In cases where it is [1] not feasible to construct a structure in the center of the lease area or along the shoreline, [2] will increase the view corridor or benefit the surrounding properties by not centering a structure in the lease area, or [3] where centering the structure will create an undue hardship to the property owner leasing the lease area, the Director of Planning and Zoning or his/her designee may approve an administrative exception to allow an alternate location that is not generally centered in the lease area as long as the location for the proposed structure is outside of the view clear zone. In approving these requests, the Director of Planning and Zoning or his/her designee shall consider the impact of the proposed structure on the adjacent property owners.
- (3) Building Materials. The permitted building materials shall be as stipulated in Subsection (J), Specifications for Permitted Land Uses, and as permitted by the City Council through a Specific Use Permit (SUP); however, the use of canvas, cloth, or like materials shall be prohibited within the takeline area. In addition, loose ground materials (*e.g. sand, fill, pea gravel*) that could be used for trails, paths, play areas, active sports activities, or as exposed landscape bedding material are prohibited.
- (4) Trees. In order to plant or remove a tree in the takeline area, a *Treescape Plan* showing the exact location, size (*i.e. trunk diameter and height*), and common name of the tree to be planted or removed will be required to be submitted to the Parks and Recreation Department. A permit to plant or remove a tree may be approved administratively by the Director of Parks and Recreation or his/her designee, or forwarded to the Parks and Recreation Board for approval. In reviewing a request to plant or remove a tree, the following criteria shall apply:
- (a) Planting Trees. Trees are permitted to be planted within the *438.0 Elevation Zone* pending they are [1] not a variety specifically listed in the prohibited tree list contained in Section 03, Tree Planting Guidelines and Requirements, of Appendix C, Landscaping Guidelines and Requirements, and [2] they are not located within the view clear zone outlined Subsection (E), Visual Measurements. The Director of Parks and Recreation or his/her designee may grant an exception to allow a tree to be planted in the view clear zone where it is determined that the tree will not decrease the visibility of the lake or shoreline for the adjacent properties. In making this determination, the Director of Parks and Recreation shall consider the size of the proposed tree at maturity.
 - (b) Removing Trees. Trees are permitted to be removed only if they are determined to be damaged or diseased, or if they create a hazardous or dangerous condition that could endanger the public health, safety or welfare of the general public.
- (5) Temporary Structures in the Takeline Area. Temporary structures (*e.g. portable residential barbecue grills and ranges, trampolines, etc.*) are permitted to be brought out into the takeline area providing that they are not allowed to remain in any part of the takeline area for more than 72 consecutive hours unless completely enclosed within a fenced area constructed in accordance with Subsection 06.15(J)(6).
- (G) Residential Sublease Agreement. A *Residential Sublease Agreement* is an agreement between a property owner and the City of Rockwall that grants the property owner certain rights to the exclusive use of the takeline area. A *Residential Sublease Agreement* shall be required to build certain structures within the takeline area. It shall be a violation of the zoning code to build or maintain a structure in the takeline area without a valid *Residential Sublease Agreement.* An owner in violation of

Exhibit 'A'

**Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)**

this section shall be subject to the requirements of Section 01, Penalties, of Article 12, Enforcement, of the Unified Development Code (UDC). The following shall be the costs associated with a Residential Sublease Agreement:

Lease	Fees
New Lease (<i>i.e. New Never Leased by Current Owner</i>) ²	\$200.00
Annual Renewal of a Lease	\$100.00
Change of Ownership of a Valid Lease	\$50.00
Reinstatement of an Expired Lease (<i>i.e. Same Property Owner</i>) ³	\$500.00

NOTES:

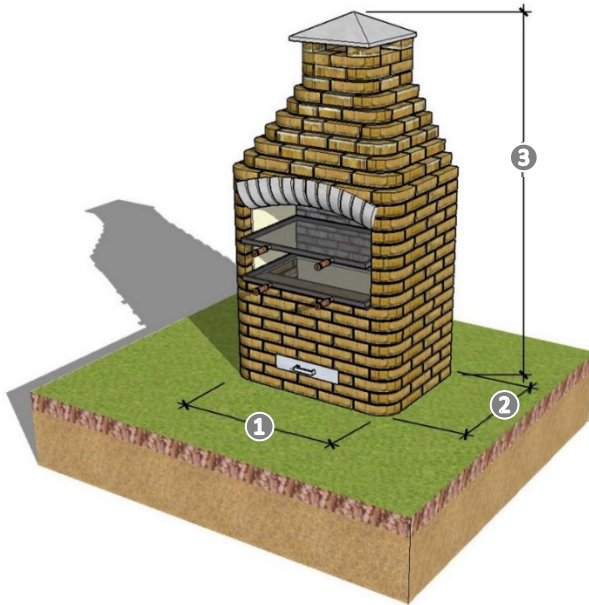
- ¹: To be subject to these new fees, a new lease entered into after January 4, 2021 will be required (*i.e. the effective date of the amendment adopting these fees*).
- ²: A lease is considered to be new under the following circumstances: [1] the property has never had a valid lease agreement, or [2] the property had a valid lease under different ownership but that lease agreement expired prior to the current owner taking possession of the property.
- ³: A lease is considered to be a reinstatement when it lapses or expires under the current ownership, and then the same owner requests a new lease.

- (H) Permitted Uses. All of the uses permitted within the Lake Ray Hubbard Takeline Overlay (TL OV) District shall adhere to all other applicable codes and permitting requirements of the City of Rockwall. For a list of permitted land uses see Subsection (J), Specifications for Permitted Land Uses, or Subsection 07.05, Lake Ray Hubbard Takeline Overlay (TL OV) District Development Standards.
- (I) Specific Use Permits (SUPs). A Specific Use Permit (SUP) may be requested for: [1] any use that is not listed in Subsection (J), Specifications for Permitted Land Uses or [2] any structure that does not adhere to the requirements stipulated for that use or structure as required by Subsection (J), Specifications for Permitted Land Uses; however, a request for a Specific Use Permit (SUP) cannot be requested if a dimensional, material, size, or location standard stipulated in Subsection (J), Specifications for Permitted Land Uses, or Subsection (F), General Requirements, is expressly prohibited. In addition, no requests can be made that violate the view corridor requirements stipulated in Subsection (E), Visual Measurements. A Specific Use Permit (SUP) may be requested for water related land uses that are not specifically addressed in Subsection (J), Specifications for Permitted Land Uses, (*e.g. jet ski lift*) pending the applicant provides a letter of consent from the City of Dallas prior to making the application. In considering a Specific Use Permit (SUP) request, the City Council shall consider how the proposed request [1] impacts adjacent properties, and [2] adheres to the intent of the Lake Ray Hubbard Takeline Overlay (TL OV) District.
- (J) Specifications for Permitted Land Uses. See Subsection 07.05, Lake Ray Hubbard Takeline Overlay (TL OV) District Development Standards, for a summary of the development standards for each of the following conditional uses.
- (1) Barbecue Pit.
 - (a) Definition. A barbecue pit is a permanent fireplace structure over which meat, poultry and other foods are roasted (*for Fire Pit see Subsection 06.15(J)(9)*).
 - (b) Prerequisites. A barbecue pit may only be constructed on a property that has a valid Residential Sublease Agreement from the City of Rockwall.
 - (c) Elevation Zone. A barbecue pit shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Not Permitted.
 - (d) Conditional Use Standards. A barbecue pit can only be fueled by charcoal and wood products, and shall not be fueled by any permanently buried gas products (*i.e. natural gas or propane*).
 - (e) Construction Standards.
 - (1) Building Materials. A barbecue pit must be constructed utilizing a combination of natural stone, brick, concrete, and/or iron grating.
 - (2) Height. A barbecue pit shall not exceed a maximum of six (6) feet in height.

Exhibit 'A'

**Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)**

- (3) Size. A *barbecue pit* shall not be smaller than a minimum size of three (3) feet in length by three (3) feet in width; however, a *barbecue pit* should not exceed a maximum size of eight (8) feet in length by three (3) feet in width.
- (f) Setback Requirements. A *barbecue pit* must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 6-Feet
- (g) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of a *barbecue pit* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A *barbecue pit* must comply with all other applicable City of Rockwall codes.
- (h) Visual Representation.



- : A MINIMUM AND MAXIMUM OF THREE (3) FEET IN LENGTH;
- : A MINIMUM OF THREE (3) FEET AND A MAXIMUM OF EIGHT (8) FEET IN WIDTH;
- : A MAXIMUM OF SIX (6) FEET;

(2) Boathouse.

- (a) Definition. A *boathouse* is a roofed structure affixed to the end of an adjoining *fixed pier*, with a main waterside opening, containing an operating boatlift, and which is built to house and protect a watercraft and boat related equipment.
- (b) Prerequisites. A *boathouse* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall, has constructed a *seawall* along the entire length of the shoreline within the leased area, and has constructed a *fixed pier*.
- (c) Conditional Use Standards. *Boathouses* are used for storing boats that have a fuel efficiency rating greater than 95%; however, boathouses may also be used to store sailboats. *Boathouses* will not be used for storing any other type of items except boats and boat-related equipment. In addition, *Boathouses* shall not be used as a habitable dwelling structure, or shelter for domestic or wild animals. All *boathouses* shall be designed to discourage swimming, be durable, and have a base foundation construction of approved piling piers placed to a depth decided

Exhibit 'A'
Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)

by a structural engineer; however, a *boathouse* shall not be designed to prevent public access to an area of water. Accessories placed on the flat surface of a *boathouse* or catwalk must be placed in an orderly manner that allows for the safe movement of people.

(d) Elevation Zone. A *boathouse* shall be allowed in the following zones:

- (1) 438.0: Not Permitted.
- (2) 435.5: Not Permitted.
- (3) 425.5: Permitted.

(e) Construction Standards.

- (1) Building Materials. All *boathouse* constructed below the 437.0-foot mean sea level contour shall use only pilings and materials approved by the City of Rockwall and the City of Dallas. *Boathouses* shall be constructed utilizing composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with high-tech plastic materials) -- products equivalent to Trex brand are preferred -- for decking, galvanized metal/iron/steel or aluminum (with a minimum color rating of AAMA 2604) for the support posts, all aforementioned materials and cedar or iron wood for the roof beams, and standing seam metal for the roof with a pre-finished color. Support posts may be wrapped in composite material. Water repellent sealants shall not be used to treat any cedar or ironwood used for roof beams. All fasteners binding materials together must be made out of stainless steel.
- (2) Height. A *boathouse* shall be a minimum of 16-feet and a maximum of 21-feet in height as measured from the top of the fixed pier's catwalk to the vertex of the *boathouse's* cupola; however, in no case should a *boathouse* exceed one (1) story in height.
- (3) Size. The footprint of the exterior sides of a *boathouse* will measure a minimum of eight (8) feet in width by 30-feet in length and a maximum of 12-feet in width and 30-feet in length. *Boathouses* shall not extend more than 40-linear feet into the water as measured from the normal pool elevation of the shoreline (i.e. 435.5).
- (4) Roof. A *boathouse* will have a hip roof with either: [1] one (1) cupola with a hip roof centered at the top of the main hip roof, or [2] two (2) cupolas each with hip roofs at either end of the top of the main hip roof. Cupolas will be designed to allow updraft air and winds to vent outward, and shall measure three (3) feet by four (4) feet. All *boathouse* roofs shall be built with a minimum of a 2:1 roof pitch and will not have an overhang greater than 18-inches. *Boathouses* shall not incorporate a deck or platform.
- (5) Lighting. Interior lighting for a *boathouse* will be directed downward from the ceiling of the structure and at the stored watercraft. Exterior lighting for a *boathouse* will be directed downwards toward the fixed pier with light fixtures incorporated either into the roof's overhang or the structure's columns. Lighting shall not hinder an adjacent property owner's lake views, negatively impact surrounding residents with unwanted brightness or glare, or interfere with the safety of the traveling public.
- (6) Additional Construction Standards.
 - (a) Deck Ladder. A deck ladder is permitted to be constructed inside a *boathouse*.
 - (b) Storage Unit. A *boathouse* can incorporate one (1) storage unit measuring 72-inches in length by 20-inches in depth by 20-inches in height. Storage units shall be placed on the outer dockside, and shall only be used for storing boat-related equipment. The storage of fossil fuels and/or hazardous materials is prohibited.
 - (c) Boat or Watercraft Lift(s). A *boathouse* must incorporate either one (1) regular boat lift or two (2) personal watercraft boat lifts. All boat or watercraft lifts must be able to hoist a watercraft above the 438.0-foot mean sea level contour, and be maintained in good operating condition. All watercrafts must be stored under the roof of the *boathouse*.
 - (d) Pilings. The approved pilings used to support a *boathouse* must be built up to at least 17-inches above the normal pool elevation of 435.5-foot mean sea level. Vertical rub rails are required on all concrete piers and pilings.
 - (e) Catwalks. The flat floor surface or catwalk for all structures must be no more and no less than 18-inches above the normal pool elevation of 435.5-foot mean sea level.
 - (f) Safety Reflectors. All structures shall be designed with safety reflectors to be clearly visible on three (3) sides on the main waterside of the end of the structure. Safety reflectors are required on either side of the main waterside end and the two (2) sides at a minimum increment of ten (10) feet starting at the structure's main waterside end and working back to the shoreline. Safety reflectors will be white, blue, or

Exhibit 'A'

**Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)**

red and no less than three (3) inches in diameter or square in size, kept clean, firmly attached to the structure, and maintained in good condition.

(7) Location. All *boathouses* are required to be located in the water of the *Lake*. View corridor restrictions do not apply to *boathouses*; however, a boathouse should generally be located in line with the primary structure on the leasing property (*i.e. generally centered on the lot*). *Boathouses* shall not be designed to prevent or restrict public access to any portion of water within the *Lake*.

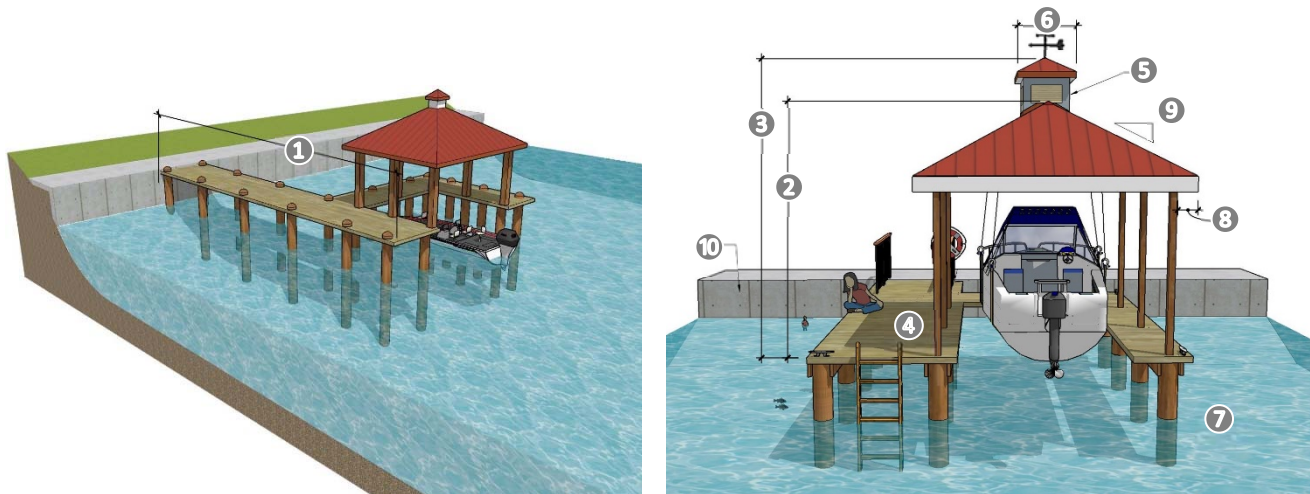
(f) Setback Requirements. A *boathouse* must adhere to the following setbacks:

- (1) Takeline Setback: 0-feet
- (2) Leased Side Yard Setback: 10-feet
- (3) Maximum Distance from Seawall: 40-feet

(g) Additional Requirements.

- (1) Dredging. Dredging of the lake area is allowed for the berthing of a motorized boat into a *boathouse* provided that the dredging does not exacerbate shoreline erosion, lake siltation, water quality degradation, wetlands instability, or the integrity of any built structure, and the dredged channel is maintained for boating maneuverability to a depth of 425.0-feet mean sea level and a width area allowable for safe boating maneuverability. Property authorization to dredge must be obtained from the City of Rockwall, City of Dallas, US Army Corps of Engineers, and the Texas Parks and Wildlife Department. Disposal of dredging materials must be handled by a licensed establishment, properly treated and disposed of at an offsite location or disposed onsite only as part of land reclamation working under the City of Dallas guidelines and supervision.
- (2) Compliance with Applicable Codes. A *boathouse* must comply with all other applicable City of Rockwall codes.
- (3) Address. All *boathouses* shall have a residential street address sign with six (6) inch black letters on a white background displayed outwards towards the main body of the *Lake* to be recognizable for waterside public safety and emergency personnel.
- (4) Easement Protection. No *boathouse* shall encroach into an existing or identified future easement, right-of-way, access road, or path.

(h) Visual Representation.



: 40-FOOT MAXIMUM; : 13-FOOT MINIMUM TO 18-FOOT MAXIMUM; : 16-FOOT MINIMUM TO 21-FOOT MAXIMUM; : CATWALK (UNDERSTRUCTURE TO BE ABOVE THE 437.0-FOOT ELEVATION); : CUPOLA: : THREE (3) FEET BY FOUR (4) FEET; : 435.5-FOOT NORMAL POOL ELEVATION; : 1.5-FOOT MAXIMUM OVERHANG; : 2:1 ROOF PITCH (HIP ROOF ONLY); : SEAWALL.

(3) Covered Patio.

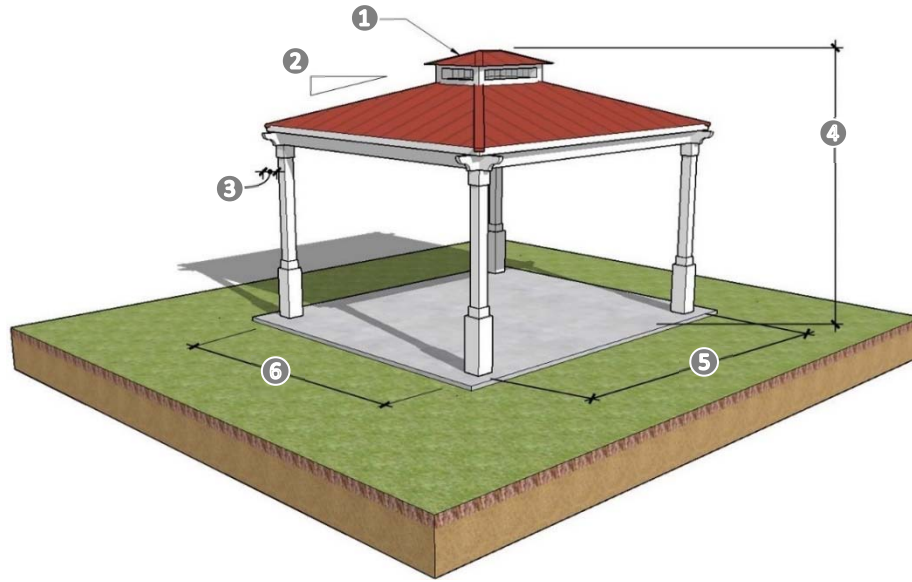
Exhibit 'A'

*Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)*

- (a) Definition. A *covered patio* is a standalone structure that provides shade and/or rain coverage for a patio or deck. Covered patios have a solid roof.
- (b) Prerequisites. A *covered patio* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A *covered patio* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted (*if a Seawall has been constructed*).
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A *covered patio* shall not be used as a habitable dwelling structure, storage facility, or shelter for domestic or wild animals.
- (e) Construction Standards.
 - (1) Building Materials. A *covered patio* must be constructed utilizing cedar, redwood, ironwood, composite materials (*e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*), or metal. The roof of the structure should generally match the color of the roof on the primary structure, and be constructed using clay tiles, standing seam metal, slate shingles, concrete shingles, or ceramic shingles. Canvas, cloth, or mesh attachments to the structure shall be prohibited.
 - (2) Height. A *covered patio* shall not exceed a maximum height of 15-feet or one (1) story, and the roof shall not be used as a deck or lookout. The height shall be measured from grade to the mid-point of the pitched roof.
 - (3) Size. A *covered patio* shall not exceed a maximum size of 12-feet by 20-feet or 240 SF.
 - (4) Roof. A *covered patio* will have a hip or gable roof with either: [1] one (1) cupola with a hip roof centered at the top of the main hip roof, or [2] a clerestory built into the center of the main hip roof. Cupolas and clerestories will be designed to allow updraft air and winds to vent outward, and shall be proportional to the main roof. All *covered patios* should be built with a minimum of a 4:1 roof pitch. The roof shall not have an overhang greater than 18-inches.
 - (5) Location. A *covered patio* located within the *435.5 Elevation Zone* shall generally be located in line with the primary structure on the leasing property. *Covered patios* shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A *covered patio* must adhere to the following setbacks:
 - (1) Takeline Setback: 6-Feet (*from the Concrete Cap of the Seawall*)
 - (2) Leased Side Yard Setback: 20-Feet
- (g) Additional Requirements.
 - (1) Earth Work. Earth work required for the construction of a *covered patio* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A *covered patio* must comply with all other applicable City of Rockwall codes.
 - (3) Emergency Response. The *covered patio* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.
- (h) Visual Representation.

Exhibit 'A'

Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of Article 05, Development Standards, of the Unified Development Code (UDC)



: CUPOLA OR CLERESTORY; : 4:1 MINIMUM ROOF PITCH; : 18-INCHES MAXIMUM OVERHANG;
: 15-FEET MAXIMUM HEIGHT; : 20-FEET MAXIMUM; : 12-FEET MAXIMUM;

(4) Deck.

- (a) Definition. A deck is a roofless structure anchored to the ground that consists of planks running in a horizontal pattern and creating a flat surface area.
- (b) Prerequisites. A deck may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A deck shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted (*if a Seawall has been constructed*).
 - (3) 425.5: Not Permitted (*see Dock Deck in Subsection 06.15(J)(5)*).
- (d) Conditional Use Standards. A deck shall not incorporate walls or other none transparent structures to function as handrails or counter space.
- (e) Construction Standards.
 - (1) Building Materials. A deck must be constructed of composite materials (*e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*). Handrails incorporated into a deck in the 438.0 Elevation Zone shall be made of wrought iron or decorative metal. Handrails are not permitted in the 435.5 Elevation Zone.
 - (2) Height. A deck shall not exceed a maximum height of 24-inches above grade.
 - (3) Size. A deck shall not exceed a maximum area of 1,000 SF.
 - (4) Location. A deck located within the 435.5 Elevation Zone shall generally be located in line with the primary structure on the leasing property. Decks shall not be placed in the view clear zone of a neighbor's view corridor.
 - (5) Foundation. A deck shall be anchored into the ground using concrete posts and footings as a foundation appropriate for the load and size of the proposed deck.
- (f) Setback Requirements. A deck must adhere to the following setbacks:
 - (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 20-Feet

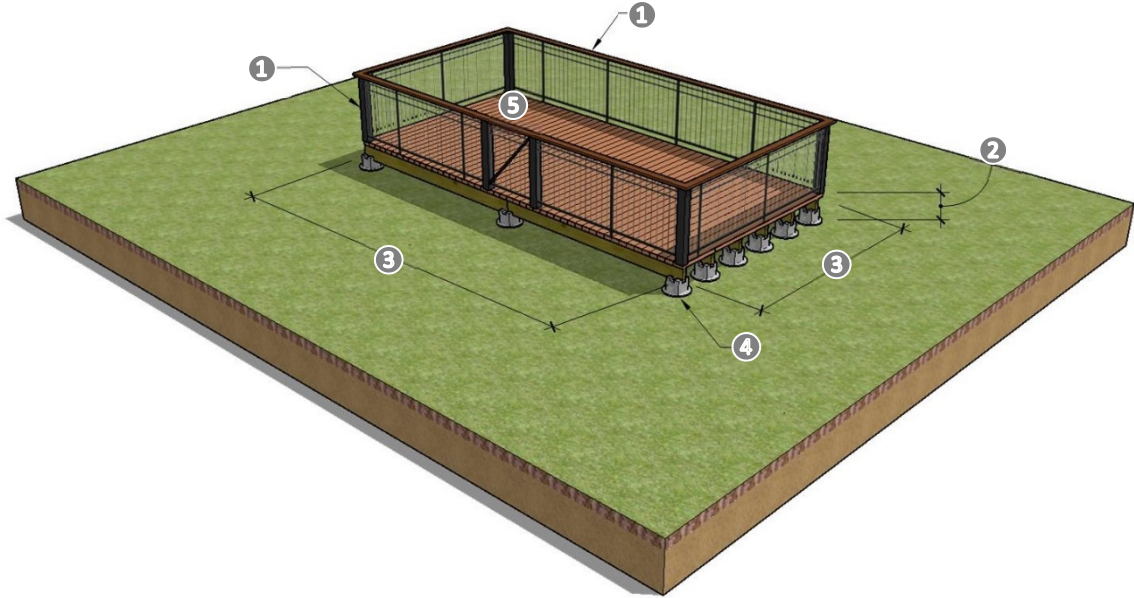
Exhibit 'A'

**Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)**

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a *deck* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *deck* must comply with all other applicable City of Rockwall codes.
- (3) Emergency Response. The *deck* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) Visual Representation.



: WROUGHT IRON OR DECORATIVE METAL; : MAXIMUM OF 24-INCHES OR TWO (2) FEET ABOVE GRADE; : (L) X (W) SHALL NOT BE GREATER THAN 1,000 SF; : CONCRETE POSTS AND FOOTINGS FOR FOUNDATION; : COMPOSITE DECKING MATERIALS.

(5) Dock Deck.

- (a) Definition. A *dock deck* is a flat floor surface area built over the water adjoining the end of a *fixed pier*.
- (b) Prerequisites. A *dock deck* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall, has constructed a *seawall* along the entire length of the shoreline within the leased area, and has constructed *fixed pier*.
- (c) Elevation Zone. A *dock deck* shall be allowed in the following zones:
 - (1) 438.0: Not Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Permitted.
- (d) Conditional Use Standards. Items that can be securely attached to the edge of a *dock deck* include the following: [1] a personal watercraft swing lift, [2] benches, [3] dock deck lighting that is either embedded in or on a pole, [4] locker box, and/or [5] power source station. A table may also be placed on the edge or in the center of a *dock deck*. A watercraft is only allowed to moor at any portion of a *dock deck* for no more that 156-consecutive hours during any given week. All *dock decks* shall be designed to discourage swimming, be durable, and have a base foundation construction of approved piling piers placed to a depth decided by a structural engineer; however, a *dock deck* shall not be designed to prevent public access to an area of water. *Dock decks* shall also be designed to be clearly visible during all seasons of the year and fluctuations in pool elevation of the *Lake*. Accessories placed on the flat surface of a *dock deck* or catwalk must be placed in an orderly manner that allows for the safe movement of people.
- (e) Construction Standards.

Exhibit 'A'

**Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)**

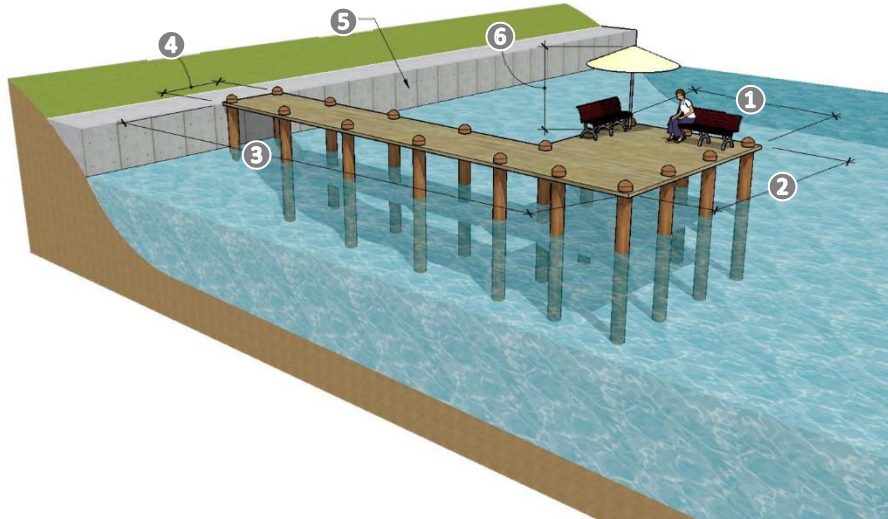
- (1) Building Materials. The catwalk and/or *dock deck* and any benches built on these structures shall utilize only composite materials (e.g. *wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*). Any railings built on a *dock deck* shall be constructed of composite materials (e.g. *wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*) or steel tubing railings. *Dock decks* above 437.0 feet mean sea level are required to be constructed of metal pilings, concrete pilings, or plastic PVC pilings. *Dock decks* constructed below 437.0 feet mean sea level must use only pilings and materials approved by the City of Dallas as specified in the City of Dallas' *Construction Permit Application Lake Structures Lake Ray Hubbard*. All pilings shall be engineered and approved to handle the pressures, stresses, and loads applicable to lakefront conditions. The exterior color of all *dock decks* shall be a neutral or earth tone color and be subject to approval by the Planning and Zoning Department at the time of building permit. All fasteners binding materials together must be made of stainless steel. Water repellant sealants shall not be used.
- (2) Height. No pole structures incorporated into a *dock deck* shall be higher than eight (8) feet above the flat floor surface with no more than four (4) pole structures allowed.
- (3) Size. The footprint of the exterior sides of a *dock deck* adjoining a fixed pier shall be a minimum of eight (8) feet by ten (10) feet (i.e. 80 SF) and a maximum of 12-feet by 30-feet (i.e. 360 SF). *Dock decks* shall not extend more than 40-linear feet into the water as measured from the normal pool elevation of the shoreline (i.e. 435.5).
- (4) Lighting. Lighting shall not hinder an adjacent property owner's lake views, negatively impact surrounding residents with unwanted brightness or glare, or interfere with the safety of the traveling public. Safety lighting may be placed onto the interior edges of the flat floor surface of a *dock deck* at ten (10) foot increments, with the cover housing the lighting source no higher than six (6) inches. Two (2) light post structures with a maximum height of eight (8) feet can be placed along the periphery of a *dock deck*.
- (5) Additional Construction Standards.
 - (a) Pilings. The approved pilings used to support a boathouse must be built up to at least 17-inches above the normal pool elevation of 435.5-feet mean sea level. Vertical rub rails are required on all concrete piers and pilings.
 - (b) Catwalks. The flat floor surface or catwalk for all structures must be no more and no less than 18-inches above the normal pool elevation of 435.5-feet mean sea level.
 - (c) Safety Reflectors. All structures shall be designed with safety reflectors to be clearly visible on three (3) sides on the main waterside of the end of the structure. Safety reflectors are required on either side of the main waterside end and the two (2) sides at a minimum increment of ten (10) feet starting at the structure's main waterside end and working back to the shoreline. Safety reflectors will be white, blue, or red and no less than three (3) inches in diameter or square in size, kept clean, firmly attached to the structure, and maintained in good condition.
- (6) Location. View corridor restrictions do not apply to *dock decks*. *Dock decks* shall not be allowed on land.
- (f) Setback Requirements. A *dock deck* must adhere to the following setbacks:
 - (1) Takeline Setback: 0-feet
 - (2) Leased Side Yard Setback: 10-feet
 - (3) Maximum Distance from Seawall: 40-feet
- (g) Additional Requirements.
 - (1) Dredging. Dredging of the lake area is allowed for the berthing of a motorized boat into a *dock deck* provided that the dredging does not exacerbate shoreline erosion, lake siltation, water quality degradation, wetlands instability, or the integrity of any built structure, and the dredged channel is maintained for boating maneuverability to a depth of 425.0-feet mean sea level and a width area allowable for safe boating maneuverability. Property authorization to dredge must be obtained from the City of Rockwall, City of Dallas, US Army Corps of Engineers, and the Texas Parks and Wildlife Department. Disposal of dredging materials must be handled by a licensed establishment, properly treated and disposed of at an offsite location or disposed onsite only as part of land reclamation working under the City of Dallas guidelines and supervision.

Exhibit 'A'

**Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)**

- (2) Compliance with Applicable Codes. A dock deck must comply with all other applicable City of Rockwall codes.
- (3) Address. All dock decks shall have a residential street address sign with six (6) inch black letters on a white background displayed outwards towards the main body of the Lake to be recognizable for waterside public safety and emergency personnel.
- (4) Easement Protection. No dock deck shall encroach into an existing or identified future easement, right-of-way, access road, or path.

(h) Visual Representation.

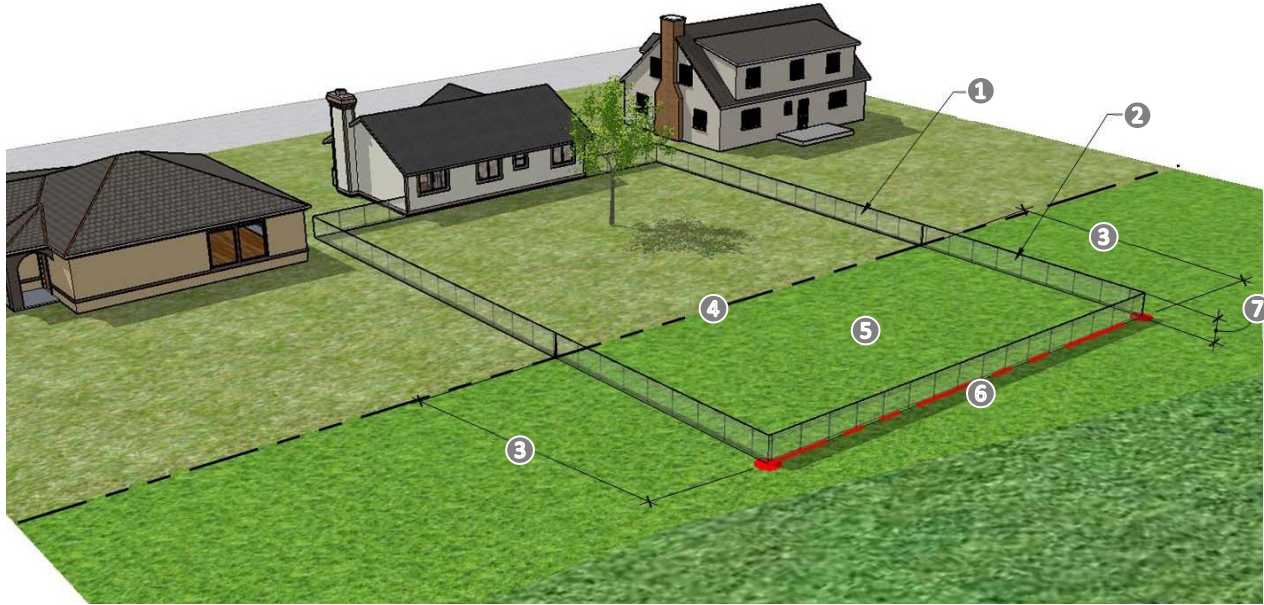


: MINIMUM OF TEN (10) FEET AND A MAXIMUM OF 30- FEET; : MINIMUM OF EIGHT (8) FEET AND A MAXIMUM OF 12- FEET; : 40- FOOT MAXIMUM;
: SIX (6) FOOT MAXIMUM; : SEAWALL; : EIGHT (8) FOOT MAXIMUM;

(6) Fence.

- (a) Definition. A fence is a barrier, railing, or other upright structure, enclosing a specific area to mark a boundary or control access.
- (b) Prerequisites. A fence may only be constructed on a property that has a valid Residential Sublease Agreement from the City of Rockwall.
- (c) Elevation Zone. A fence shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A fence shall only be allowed to enclose an area beginning at the Takeline corners (i.e. the rear property line corners of the property leasing the take area), extending 45-feet along the lease line, and connecting the two (2) points in a straight line (see example below).

Exhibit 'A'
Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)



(1) : EXISTING RESIDENTIAL FENCE ON THE LEASING PROPERTY; (2) : WROUGHT IRON OR BLACK TUBULAR STEEL FENCE; (3) : MAXIMUM OF 45-FOOT ALONG THE LEASE LINE OF THE TAKELINE; (4) : REAR PROPERTY LINE/BEGINNING OF THE TAKELINE; (5) : 438.0 ELEVATION ZONE; (6) : THE STRAIGHT-LINE CONNECTION BETWEEN THE TWO (2), 45-FOOT POINTS; (7) : MAXIMUM OF 48-INCHES OR FOUR (4) FEET.

(e) Construction Standards.

- (1) Building Materials. A fence shall *only* be constructed of wrought iron or black tubular steel.
- (2) Height. A fence shall not exceed a maximum height of 48-inches from grade.
- (3) Location. A fence shall not be placed in the view clear zone of a neighbor's view corridor.

(f) Setback Requirements. A fence must adhere to the following setbacks:

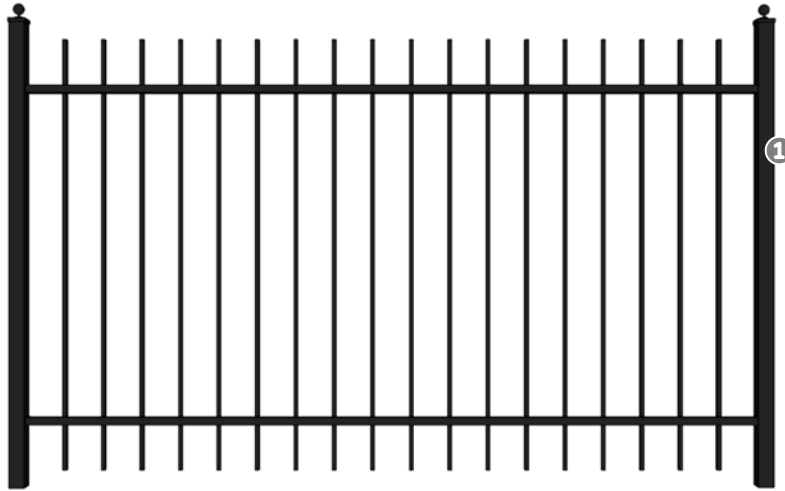
- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 0-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a fence must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A fence must comply with all other applicable City of Rockwall codes.

(h) Visual Representation.

Exhibit 'A'
Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)



: FOUR (4) FOOT WROUGHT IRON FENCE

(7) Flagpole.

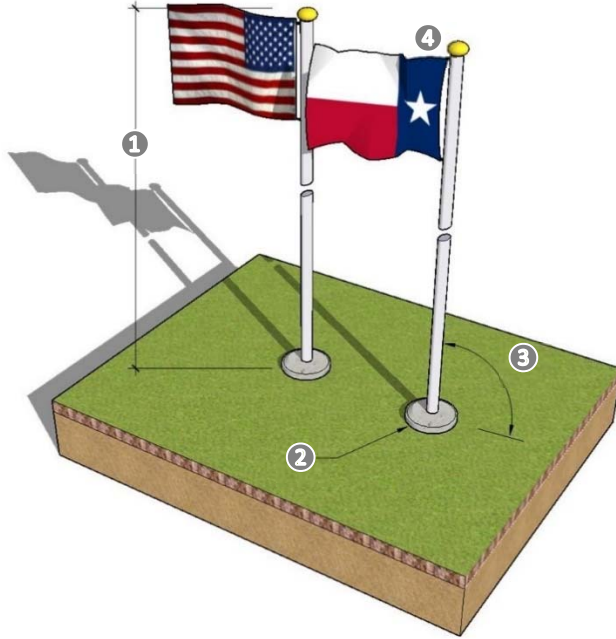
- (a) Definition. A *flagpole* is an upright pole or staff, constructed at a 90-degree angle to the finished grade, which is used to raise a flag.
- (b) Prerequisites. A *flagpole* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A *flagpole* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted (*if a Seawall has been constructed*).
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A maximum of two (2) *flagpoles*, with one (1) flag on each pole shall be permitted within a lease area. The United States of America and State of Texas flags measuring a maximum of six (6) feet by four (4) feet will be the only flags permitted to be flown along the takeline. Lighting in association with a flagpole shall be prohibited.
- (e) Construction Standards.
 - (1) Building Materials. A *flagpole* shall only be constructed of either stainless steel or aluminum.
 - (2) Height. A *flagpole* shall not exceed a maximum height of 20-feet from grade.
 - (3) Size. At the ground base a *flagpole* shall measure a minimum size of five (5) inches and a maximum size of eight (8) inches.
 - (4) Location. A *flagpole* located within the *435.5 Elevation Zone* shall generally be located in line with the primary structure on the leasing property. *Flagpoles* shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A *flagpole* must adhere to the following setbacks:
 - (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 6-Feet
- (g) Additional Requirements.
 - (1) Earth Work. Earth work required for the construction of a *flagpole* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A *flagpole* must comply with all other applicable City of Rockwall codes.

Exhibit 'A'

**Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)**

- (3) Emergency Response. The *flagpole* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) Visual Representation.



: MAXIMUM OF 20-FEET FROM GRADE; : AT THE BASE THE
FLAGPOLE CAN BE A MINIMUM OF FIVE (5) INCEHS AND A
MAXIMUM OF EIGHT (8) INCHES; : MAINTAINED TO BE 90-
DEGREES FROM GRADE; : FLAGPOLES ARE PERMITTED ONE
(1) FLAG A MAXIMUM OF FOUR (4) FEET BY SIX (6) FEET;

(8) Fixed Pier.

- (a) Definition. A *fixed pier* is a structure with a catwalk that extends from the shoreline out into the body of water with the structure being used to moor and land watercraft.
- (b) Prerequisites. A *fixed pier* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall, and has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A *fixed pier* shall be allowed in the following zones:
- (1) 438.0: Not Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Permitted.
- (d) Conditional Use Standards. Each eligible property adjacent to the takeline will be permitted one (1) fixed pier with an adjoining dock deck and/or boathouse. *Fixed piers* can be designed to be in an 'I', 'T', 'L' or 'U' shape (see Subsection 06.15(J)(8)(h)). Items that can be securely attached to the edge of a *dock deck* include the following: [7] a personal watercraft swing lift, [2] benches, [3] cleats, [4] dock lighting, [5] locker box, and/or [6] power source station. A watercraft is only allowed to moor at any portion of a *fixed pier* for no more that 156-consecutive hours during any given week. All *fixed pier* shall be designed to discourage swimming, be durable, and have a base foundation construction of approved piling piers placed to a depth decided by a structural engineer; however, a *fixed pier* shall not be designed to prevent public access to an area of water. *Fixed piers* shall also be designed to be clearly visible during all seasons of the year and fluctuations in pool elevation of the *Lake*. Accessories placed on the flat surface of a catwalk of a *fixed pier* must be placed in an orderly manner that allows for the safe movement of people.
- (e) Construction Standards.

Exhibit 'A'

**Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)**

- (1) *Building Materials*. The catwalk and any benches built on these structures shall utilize only composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material). Any railings built on a *fixed pier* shall be constructed of composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material) or steel tubing railings. *Fixed piers* above 437.0 feet mean sea level are required to be constructed of metal pilings, concrete pilings, or plastic PVC pilings. *Fixed piers* constructed below 437.0 feet mean sea level must use only pilings and materials approved by the City of Dallas as specified in the City of Dallas' *Construction Permit Application Lake Structures Lake Ray Hubbard*. All pilings shall be engineered and approved to handle the pressures, stresses, and loads applicable to lakefront conditions. The exterior color of all *fixed piers* shall be a neutral or earth tone color and be subject to approval by the Planning and Zoning Department at the time of building permit. All fasteners binding materials together must be made of stainless steel. Water repellent sealants shall not be used.
- (2) *Height*. No pole structures incorporated into a *fixed pier* shall be higher than eight (8) feet above the flat floor surface with no more than two (2) pole structures allowed.
- (3) *Size*. The catwalk of a *fixed pier* will be a maximum of six (6) feet in width, as measured at a 90-degree angle to the main *fixed pier's* length, and will not enclose any portion of the water to allow the free movement of water underneath. *Fixed piers* shall not extend more than 40-linear feet into the water as measured from the normal pool elevation of the shoreline (i.e. 435.5).
- (4) *Lighting*. Lighting shall not hinder an adjacent property owner's lake views, negatively impact surrounding residents with unwanted brightness or glare, or interfere with the safety of the traveling public. Safety lighting may be placed onto the interior edges of the flat floor surface of the catwalk of a *fixed pier* at ten (10) foot increments, with the cover housing the lighting source no higher than six (6) inches. Two (2) light post structures with a maximum height of eight (8) feet can be placed at the end of a *fixed pier*.
- (5) *Additional Construction Standards*.
 - (a) *Pilings*. The approved pilings used to support a boathouse must be built up to at least 17-inches above the normal pool elevation of 435.5-foot mean sea level. Vertical rub rails are required on all concrete piers and pilings.
 - (b) *Catwalks*. The catwalk of a *fixed pier* will be allowed within nine (9) feet of the normal pool elevation of 435.5-foot mean sea level. The flat floor surface or catwalk for all structures must be no more and no less than 18-inches above the normal pool elevation of 435.5-foot mean sea level.
 - (c) *Safety Reflectors*. All structures shall be designed with safety reflectors to be clearly visible on three (3) sides on the main waterside end of the end of the structure. Safety reflectors are required on either side of the main waterside end and the two (2) sides at a minimum increment of ten (10) feet starting at the structure's main waterside end and working back to the shoreline. Safety reflectors will be white, blue, or red and no less than three (3) inches in diameter or square in size, kept clean, firmly attached to the structure, and maintained in good condition.
- (6) *Location*. View corridor restrictions do not apply to *fixed piers*.
- (f) *Setback Requirements*. A *fixed pier* must adhere to the following setbacks:
 - (1) *Takeline Setback*: 0-feet
 - (2) *Leased Side Yard Setback*: 10-feet
 - (3) *Maximum Distance from Seawall*: 40-feet
- (g) *Additional Requirements*.
 - (1) *Dredging*. Dredging of the lake area is allowed for the berthing of a motorized boat into a *fixed pier* provided that the dredging does not exacerbate shoreline erosion, lake siltation, water quality degradation, wetlands instability, or the integrity of any built structure, and the dredged channel is maintained for boating maneuverability to a depth of 425.0-foot mean sea level and a width area allowable for safe boating maneuverability. Property authorization to dredge must be obtained from the City of Rockwall, City of Dallas, US Army Corps of Engineers, and the Texas Parks and Wildlife Department. Disposal of dredging materials

Exhibit 'A'

**Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)**

must be handled by a licensed establishment, properly treated and disposed of at an offsite location or disposed onsite only as part of land reclamation working under the City of Dallas guidelines and supervision.

- (2) Compliance with Applicable Codes. A *fixed pier* must comply with all other applicable City of Rockwall codes.
- (3) Address. All *fixed pier* shall have a residential street address sign with six (6) inch black letters on a white background displayed outwards towards the main body of the *Lake* to be recognizable for waterside public safety and emergency personnel.
- (4) Easement Protection. No *fixed pier* shall encroach into an existing or identified future easement, right-of-way, access road, or path.

(h) Visual Representation.

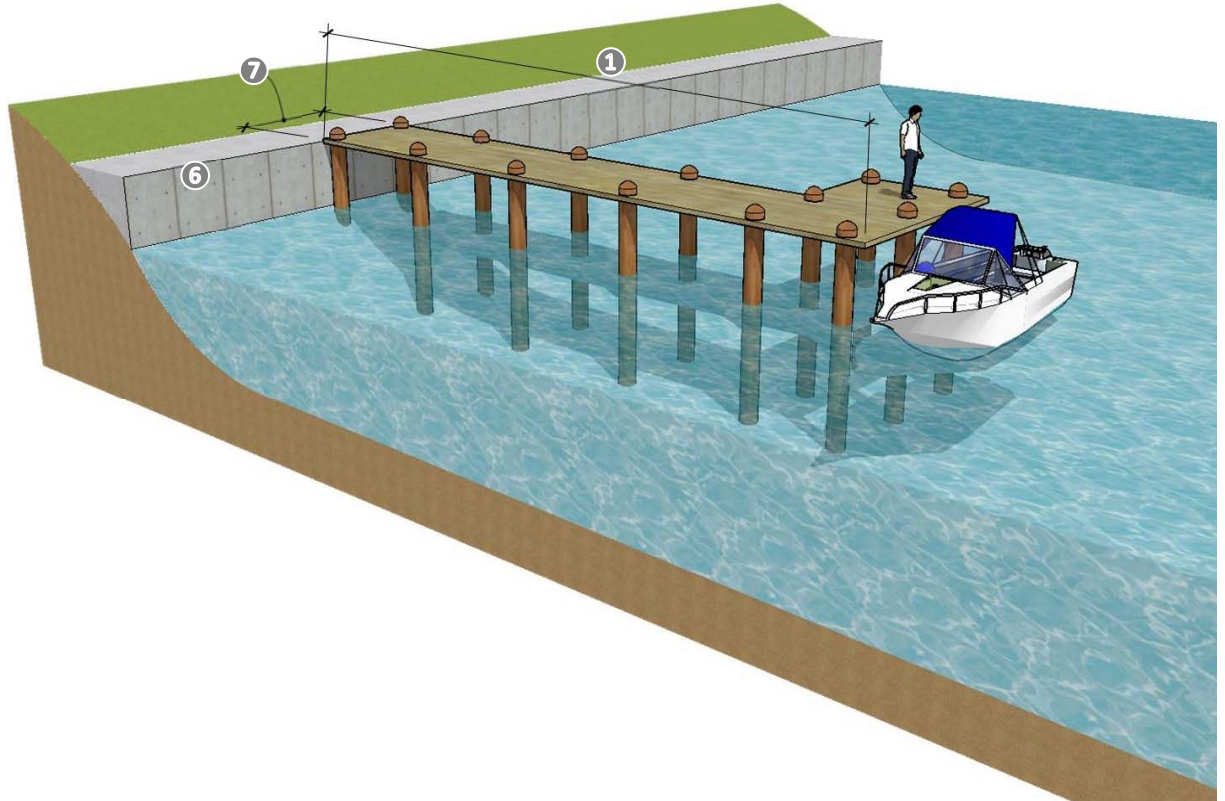
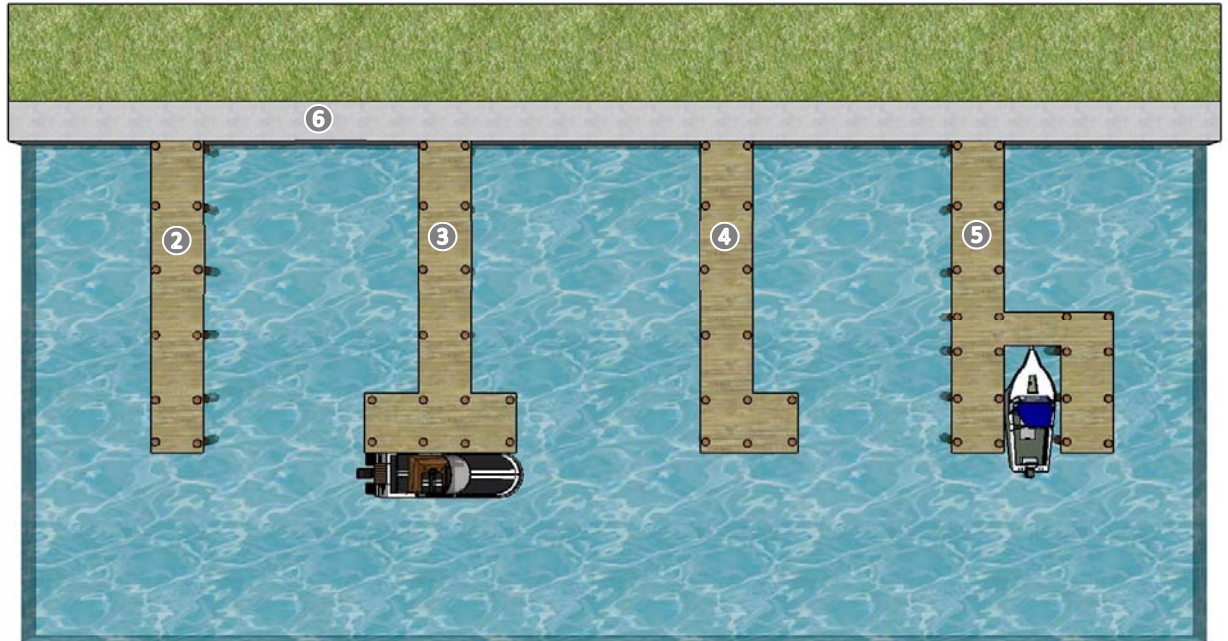


Exhibit 'A'
Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)

: 40-FOOT MAXIMUM; : PIER IN AN 'I' SHAPE; : PIER IN 'T' SHAPE; : PIER IN A 'L' SHAPE; : PIER IN A 'U' SHAPE; : SEAWALL; : SIX (6) FOOT MAXIMUM



(9) Fire Pit.

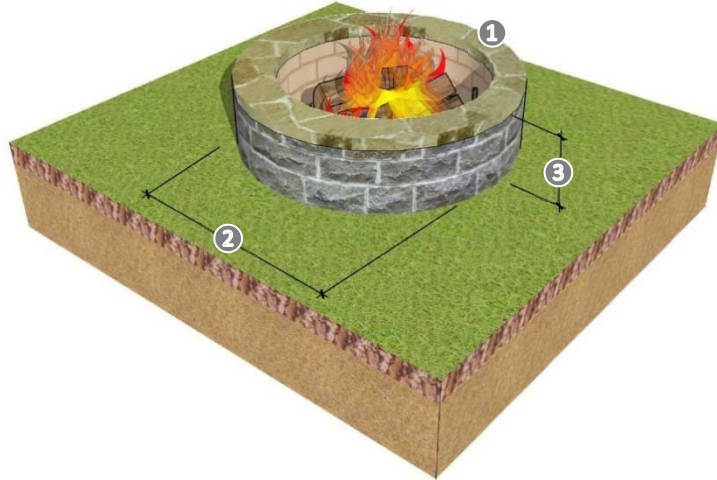
- (a) Definition. A *fire pit* is a permanent fireplace that is dug into the ground or is in a freestanding structure in which a contained fire is made.
- (b) Prerequisites. A *fire pit* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. A *fire pit* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted (if a *Seawall* has been constructed).
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A *fire pit* can only be fueled by charcoal and wood products, and shall not be fueled by any permanently buried gas products (i.e. *natural gas or propane*).
- (e) Construction Standards.
 - (1) Building Materials. The surround (i.e. *the area used to contain the fire*) for a *fire pit* must be constructed utilizing a combination of natural stone, brick, and/or concrete.
 - (2) Height. A *fire pit* shall not exceed a maximum of 36-inches in height.
 - (3) Size. A *fire pit* shall not be smaller than a minimum size of three (3) feet in length by three (3) feet in width; however, a *fire pit* should not exceed a maximum size of five (5) feet in length by five (5) feet in width.
- (f) Setback Requirements. A *fire pit* must adhere to the following setbacks:
 - (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 6-Feet
- (g) Additional Requirements.
 - (1) Earth Work. Earth work required for the construction of a *fire pit* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

Exhibit 'A'

**Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)**

(2) Compliance with Applicable Codes. A fire pit must comply with all other applicable City of Rockwall codes.

(h) Visual Representation.



1 : NATURAL STONE, BRICK, AND/OR CONCRETE; 2 : MINIMUM SIZE OF THREE (3) FEET BY THREE (3) FEET AND A MAXIMUM SIZE OF FIVE (5) FEET BY FIVE (5) FEET; 3 : MAXIMUM HEIGHT OF 36-INCHES OR THREE (3) FEET.

(10) Gazebo.

(a) Definition. A gazebo is a permanent stand-alone structure with a roof and trellis structure open on all sides with places for sitting.

(b) Prerequisites. A gazebo may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.

(c) Elevation Zone. A gazebo shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Permitted (*if a Seawall has been constructed*).
- (3) 425.5: Not Permitted.

(d) Conditional Use Standards. A gazebo shall not be used as a habitable dwelling structure, storage facility, deck, or shelter for domestic or wild animals.

(e) Construction Standards.

(1) Building Materials. A gazebo built in the *438.0 Elevation Zone* must be constructed utilizing cedar, redwood, ironwood, composite materials (*e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*), or metal. The side trellis of the gazebo may be built using wood; however, canvas, cloth, or mesh attachments to the structure shall be prohibited. A gazebo built in the *435.5 Elevation Zone* shall only be built out of composite materials (*e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*), or metal. A gazebo will be constructed using steel reinforced concrete piers.

(2) Height. A gazebo shall not exceed a maximum height of 15-feet without a clerestory and 18-feet with a clerestory/cupola. The height of the gazebo shall be measured from grade to the vertex of the gazebo's main roof or clerestory/cupola roof. In either case a gazebo shall not be larger than one (1) story or incorporate a balcony.

(3) Size. A gazebo shall not exceed a maximum size of 12-feet by 12-feet or 144 SF.

(4) Roof. The roof of the gazebo shall be a hipped roof, gable roof, or hip and/or gable roof with or without a clerestory/cupola, and have a slope of 2:1. The roof shall not have an overhang greater than 18-inches. In addition, the roof of the gazebo can match the roof of the primary structure on the leasing property; otherwise,

Exhibit 'A'

**Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)**

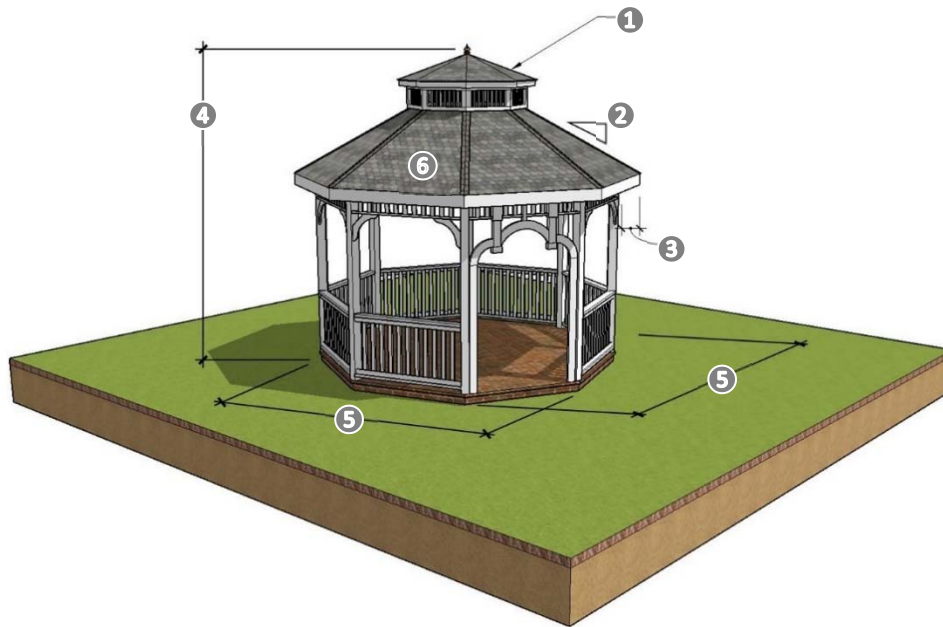
the roof shall be built out of a prefinished standing seam galvanized metal roof. If a clerestory/cupola is incorporated it shall be centered at the top of the main hip roof.

- (5) Location. A gazebo located within the 435.5 Elevation Zone shall generally be located in line with the primary structure on the leasing property. Gazebos shall not be placed in the view clear zone of a neighbor's view corridor.

- (f) Setback Requirements. A gazebo must adhere to the following setbacks:
 - (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 20-Feet

- (g) Additional Requirements.
 - (1) Earth Work. Earth work required for the construction of a gazebo must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A gazebo must comply with all other applicable City of Rockwall codes.
 - (3) Emergency Response. The gazebo shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

- (h) Visual Representation.



: CUPOLA OR CLERESTORY; : 2:1 MINIMUM ROOF PITCH; : 1.5-FOOT MAXIMUM OVERHANG; : 18- FEET MAXIMUM HEIGHT WITH A CUPOLA OR CLERESTORY AND 15- FEET WITHOUT A CUPOLA OR CLERESTORY; : 12- FEET MAXIMUM; : ROOF CAN MATCH THE PRIMARY STRUCTURE OTHERWISE THE ROOF SHALL BE STANDING SEAM METAL.

(11) Landing and Stairs.

- (a) Definition. A landing is the area of a floor near the top or bottom step of a stair. A stair is a set of steps leading from one floor of an area to another.
- (b) Prerequisites. A landing and stairs may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 or 425.5 Elevation Zones* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A landing and stairs shall be allowed in the following zones:
 - (1) 438.0: Permitted.

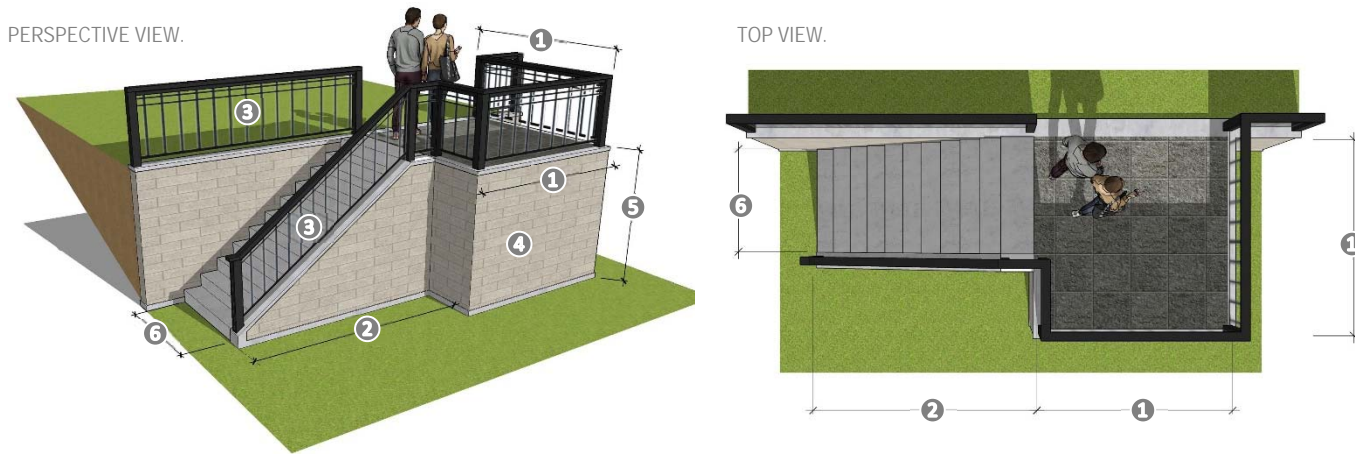
Exhibit 'A'

Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of Article 05, Development Standards, of the Unified Development Code (UDC)

- (2) 435.5: Permitted (if a Seawall has been constructed).
- (3) 425.5: Permitted (if a Seawall has been constructed).

NOTE: A landing and stairs located in the 425.5 Elevation Zone is permitted beside the lake but not upon or over the lake.

- (d) Conditional Use Standards. A landing and stairs shall be allowed to be constructed in conjunction with a retaining wall if the retaining wall exceeds three (3) feet in height measured from the adjacent grade to the top of the wall.
- (e) Construction Standards.
 - (1) Building Materials. A landing and stairs shall be constructed of wrought iron or black tubular steel, natural stone, brick, and/or concrete.
 - (2) Height. A landing and stairs shall not exceed the height of the adjacent retaining wall.
 - (3) Size. A landing and stairs shall be limited to eight (8) feet by eight (8) feet measured at the top of the adjacent retaining wall and the staircase shall be parallel to the retaining wall with a maximum width of a six (6) foot projection from the wall.
 - (4) Location. A landing and stairs shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A landing and stairs must adhere to the following setbacks:
 - (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 5-Feet
- (g) Additional Requirements.
 - (1) Earth Work. Earth work required for the construction of a landing and stairs must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A landing and stairs must comply with all other applicable City of Rockwall codes.
- (h) Visual Representation.



: MINIMUM OF EIGHT (8) FOOT BY EIGHT (8) FOOT LANDING; : VARIABLE LENGTH STAIRCASE; : WROUGHT IRON OR BLACK TUBULAR STEEL; : NATURAL STONE, BRICK, OR CONCRETE MATCHING THE RETAINING WALL; : VARIABLE HEIGHT BUT A MINIMUM OF THREE (3) FEET; : MAXIMUM OF SIX (6) FEET.

(12) Landscaping and Retaining Walls.

Exhibit 'A'

**Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)**

- (a) Definition. Landscaping is the minor modification or altering of the surrounding takeline area terrain and shoreline with trees, shrubs, ground cover, and native stone or interlocking retaining walls.
- (b) Prerequisites. Landscaping and retaining walls may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. Landscaping and retaining walls shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted.
 - (3) 425.5: Not Permitted.

NOTE: Remedial landscaping in the 425.5 Zone is permitted when the intent is to maintain the integrity of the shoreline. This will require the approval of the Director of Parks and Recreation.

- (d) Conditional Use Standards. Landscaping and retaining walls shall compliment and be integrated into the existing woodlands, wetlands, and general aesthetic of the takeline area. *Landscaping* shall not consist of hedge or shrub rows, or any plantings that may restrict views or lead to the siltation and/or erosion of the shoreline. The use of pesticides, herbicides, fungicides, or preservatives is strictly prohibited. All landscaping must comply with the requirements of Article 08, Landscaping and Fence Standards, of the Unified Development Code (UDC). For information regarding planting or removing trees see Subsection (F)(4) above.
- (e) Construction Standards.
 - (1) Building Materials. Retaining walls shall be finished in native stone and will only be allowed in the 438.0 Elevation Zone and the 435.5 Elevation Zone. The use of mulch is prohibited in all zones with the exception of the 438.0 Elevation Zone. The use of railroad ties, treated wood, pea gravel -- *with the exception of using it as a base* --, and brick shall be prohibited.
 - (2) Height. Retaining walls as part of landscaping will be limited to less than three (3) feet.
 - (3) Location. Landscaping and retaining walls shall not hinder the view clear zone of an adjacent neighbor's view corridor. *Landscaping* shall not exceed six (6) feet in height in the view clear zone.
- (f) Setback Requirements. Retaining walls must adhere to the following setbacks:
 - (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 6-Feet
- (g) Additional Requirements.
 - (1) Earth Work. Earth work required for the construction of *landscaping and retaining walls* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. *Landscaping and retaining walls* must comply with all other applicable City of Rockwall codes.
 - (3) Emergency Response. *Landscaping and retaining walls* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(13) Municipal Utilities.

- (a) Definition. Municipal utilities represent all local utilities that consist of cable lines, pipelines, and wiring already existing and planned running through the take area used by both the local community and the region's communities to facilitate the distribution and collection of communications, water, electricity, natural gas, and waste byproducts.
- (b) Elevation Zone. Municipal utilities shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted.
 - (3) 425.5: Permitted.

Exhibit 'A'

**Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)**

- (c) Conditional Use Standards. All municipal utilities' infrastructure is permitted within the take area. Municipal utilities shall be placed underground.
- (d) Setback Requirements. Municipal utilities must adhere to the following setbacks:
 - (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 0-Feet
- (e) Additional Requirements.
 - (1) Compliance with Applicable Codes. Municipal utilities must comply with all other applicable City of Rockwall codes.

(14) Outdoor Lighting.

- (a) Definition. Outdoor lighting is a structure or system of structures, fixtures, and/or devices used to provide artificial nighttime lighting over a defined broad area, on buildings and monuments, on docks for safety, and to emphasize landscaping but not directed to the detriment of the traveling public or surrounding residents in the light's path.
- (b) Prerequisites. Outdoor lighting may only be constructed on a property that has a valid Residential Sublease Agreement from the City of Rockwall.
- (c) Elevation Zone. Outdoor lighting shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Not Permitted.

NOTE: Catwalk lighting in the 425.5 Elevation Zone is the only permitted outdoor lighting allowed below the 438.0 Elevation Zone.

- (d) Conditional Use Standards. Systems and structures associated with outdoor lighting include artificial landscape lighting, dock lighting, monument lighting, and flood lights. Cobra and florescent light fixtures are not allowed on poled structures. All lights are to have shields which deflect light downward. The operation of search or spot lighting shall be prohibited.
- (e) Photometric Plan. A photometric plan describing compliance with the provisions of Article 07, Performance Standards, of the Unified Development Code (UDC) shall be submitted to the Director of Planning and Zoning or his/her designee prior to the issuance of a building permit for outdoor lighting. This plan shall be prepared by an appropriate lighting professional (*e.g. lighting engineer, architect, or other qualified lighting designer*). Upon installation of the lighting, the lighting professional shall provide a letter certifying that the lighting is installed in accordance with the approved photometric plan. The Director of Planning and Zoning, or his/her designee, shall have the authority to interpret and determine compliance with the photometric plan and the Unified Development Code (UDC). The Planning and Zoning Commission may grant an exception to the provisions of the Unified Development Code (UDC) when strict compliance with the requirements of this section will result in substantial financial hardship or inequity, so long as such exception is without harm to the public. Decisions of the Planning and Zoning Commission may be appealed to the City Council in accordance with the procedures outline in Section 09, Exceptions and Variances, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC).
- (f) Construction Standards.
 - (1) Building Materials. Outdoor lighting poles must be constructed of aluminum or steel. Wood and/or concrete poles are prohibited.
 - (2) Height. The height of outdoor lighting shall range from light fixtures embedded into a catwalk periphery to a 12-foot maximum for post structures on land for broader illumination. Poled outdoor light fixtures within the 438.0 Elevation Zone should be no taller than one-third ($1/3$) the distance to a neighboring property and should not exceed 12-feet.
 - (3) Location. Outdoor lighting fixtures shall not be placed in the view clear zone of a neighbor's view corridor; however, view corridor restrictions do not apply for outdoor lighting associated with boathouses, dock decks,

Exhibit 'A'

**Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)**

or fixed piers except as described for each use due to brightness and glare to surrounding neighbors and the traveling public.

(g) Setback Requirements. *Outdoor lighting* must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 20-Feet

(h) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of *outdoor lighting* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. *Outdoor lighting* must comply with all other applicable City of Rockwall codes.
- (3) Municipal or Government Installed Lighting. *Outdoor lighting* installed by and/or for a governmental agency for a public benefit that is used for activities for the public benefit (*e.g. rights-of-way, ball fields, airports, and/or parks*) shall be exempted from the requirements of this section; however, parking lot lighting for these activities shall meet the requirements of the Unified Development Code (UDC).

(15) Patio.

- (a) Definition. A *patio* is a paved, tiled, or rocked outdoor area that is generally used for dining or recreation.
- (b) Prerequisites. A *patio* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. A *patio* shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Permitted.
- (3) 425.5: Not Permitted.

(d) Conditional Use Standards. A *patio* shall not incorporate walls or other none transparent structures to function as handrails or counter space.

(e) Construction Standards.

- (1) Building Materials. A *patio* must be constructed with natural stone. Handrails incorporated into a *patio* in the *438.0 Elevation Zone* shall be made of wrought iron or decorative metal. Handrails are not permitted in the *435.5 Elevation Zone*.
- (2) Height. A *patio* shall not exceed a maximum height of 12-inches above grade.
- (3) Size. A *patio* shall not exceed a maximum area of 1,000 SF.
- (4) Location. *Patios* shall not be placed in the view clear zone of a neighbor's view corridor.

(f) Setback Requirements. A *patio* must adhere to the following setbacks:

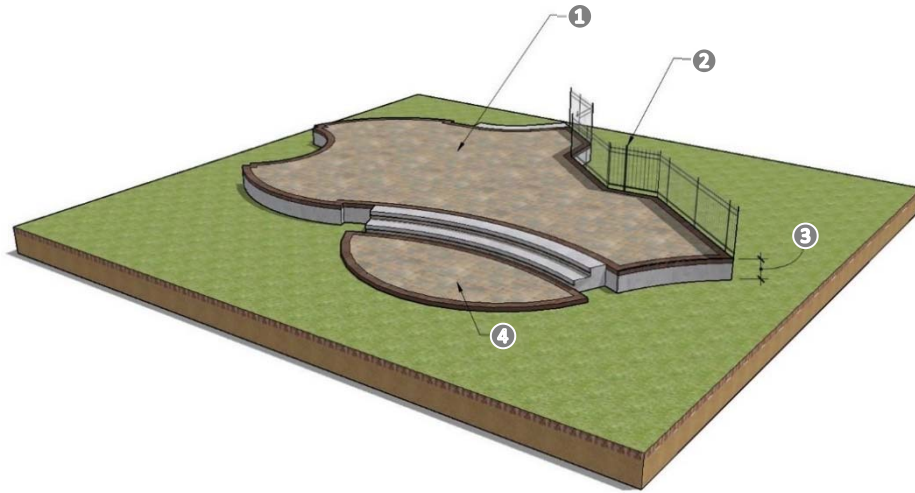
- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 20-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a *patio* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *patio* must comply with all other applicable City of Rockwall codes.
- (3) Emergency Response. The *patio* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) Visual Representation.

Exhibit 'A'
 Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
 Article 05, Development Standards, of the
 Unified Development Code (UDC)



: NATURAL STONE; : WROUGHT IRON OR BLACK TUBULAR STEEL; : MAXIMUM OF 12-INCHES OR ONE (1) FOOT; : PATIO AREA SHALL NOT BE GREATER THAN 1,000 SF

(16) Pergola.

- (a) Definition. A pergola is a stand along structure consisting of parallel columns supporting an open roof of girders and cross rafters.
- (b) Prerequisites. A pergola may only be constructed on a property that has a valid Residential Sublease Agreement from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a seawall along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A pergola shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted (*if a Seawall has been constructed*).
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A pergola shall not be used as a habitable dwelling structure, storage facility, or shelter for domestic or wild animals.
- (e) Construction Standards.
 - (6) Building Materials. A pergola constructed within the 438.0 Elevation Zone must be constructed utilizing cedar, redwood, ironwood, composite materials (*e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*), or metal. A pergola constructed within the 435.5 Elevation Zone must be constructed using composite materials (*e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*) or metal. Canvas, cloth, or mesh attachments to the structure shall be prohibited.
 - (7) Height. A pergola shall not exceed a maximum height of 12-feet or one (1) story, and the roof shall not be used as a deck or lookout. The height shall be measured from grade to the highest point of the structure.
 - (8) Size. A pergola shall not exceed a maximum size of 12-feet by 20-feet or 240 SF.
 - (9) Roof. The roof of the pergola shall not have an overhang greater than 18-inches.
 - (10) Location. A pergola located within the 435.5 Elevation Zone shall generally be located in line with the primary structure on the leasing property. Pergolas shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A pergola must adhere to the following setbacks:
 - (3) Takeline Setback: 0-Feet
 - (4) Leased Side Yard Setback: 20-Feet

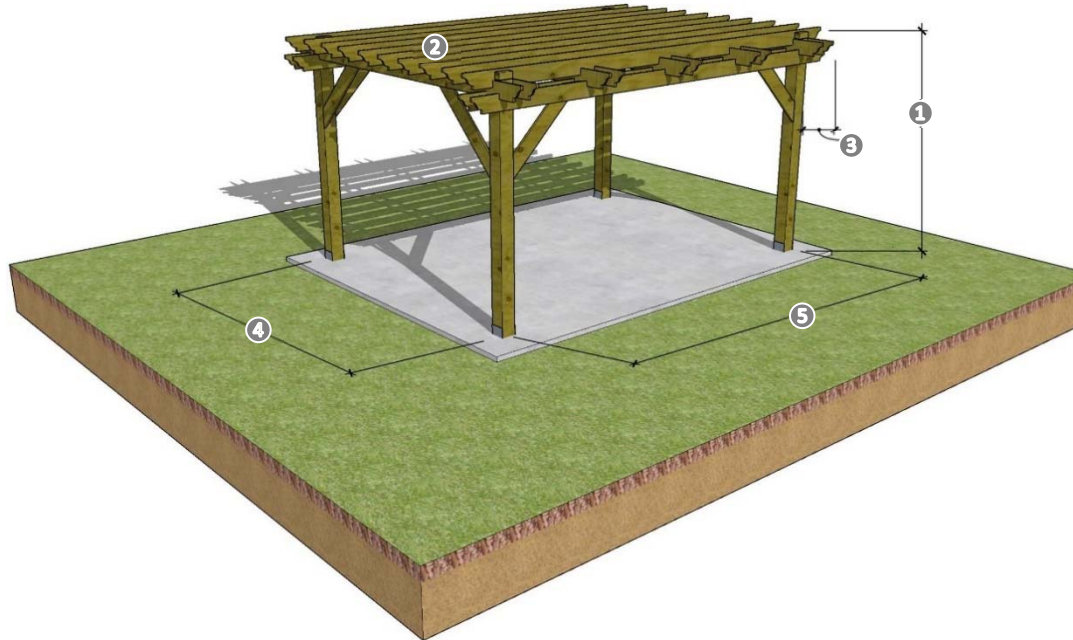
Exhibit 'A'

**Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)**

(g) Additional Requirements.

- (4) Earth Work. Earth work required for the construction of a *pergola* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (5) Compliance with Applicable Codes. A *pergola* must comply with all other applicable City of Rockwall codes.
- (6) Emergency Response. The *pergola* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) Visual Representation.



: 12-FOOT MAXIMUM HEIGHT; : OPEN ROOF OF GIRDERS OR RAFTERS; : 1.5-FOOT MAXIMUM OVERHANG; : 12-FOOT MAXIMUM; : 20-FOOT MAXIMUM; : ROOF CAN MATCH THE PRIMARY STRUCTURE OTHERWISE THE ROOF SHALL BE STANDING SEAM METAL.

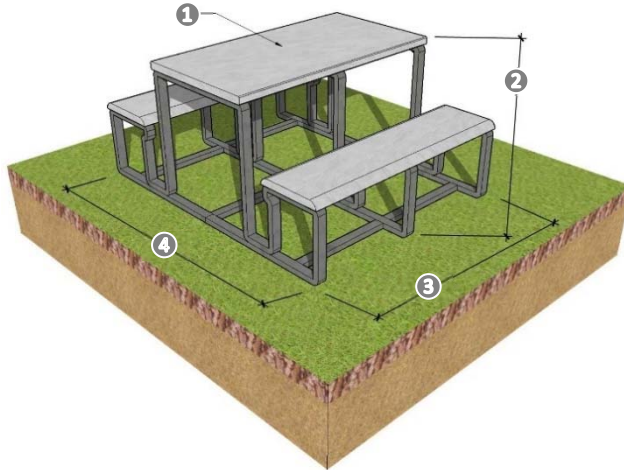
(17) Picnic Table.

- (a) Definition. A *picnic table* is a permanent outdoor structure used for outdoor dining.
- (b) Prerequisites. A *picnic table* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. A *picnic table* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted.
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A *picnic table* must be a minimum of 12-feet from a *barbecue pit* or *fire pit*, and shall be open to the air (*i.e. no roof covering*) unless combined with a covered patio or pergola. A *picnic table* shall be built on level terrain.
- (e) Construction Standards.
 - (1) Building Materials. The surface area of the *picnic table* shall be constructed out of concrete, brick, or native stone. *Picnic tables* constructed with wood shall be prohibited.
 - (2) Height. A *picnic table* shall not exceed a maximum of 36-inches in height.
 - (3) Size. A *picnic table* shall not exceed a maximum size of ten (10) feet in length by eight (8) feet in width.

Exhibit 'A'

**Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)**

- (4) Location. A picnic table located within the 435.5 Elevation Zone shall generally be located in line with the primary structure on the leasing property. Picnic tables shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A picnic table must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 6-Feet
- (g) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of a picnic table must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A picnic table must comply with all other applicable City of Rockwall codes.
 - (3) Emergency Response. The picnic table shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.
- (h) Visual Representation.



: SURFACE OF THE PICNIC TABLE SHALL BE CONCRETE, BRICK, OR NATIVE STONE; : NOT TO EXCEED 36-INCHES OR THREE (3) FEET; : EIGHT (8) FOOT MAXIMUM; : TEN (10) FOOT MAXIMUM.

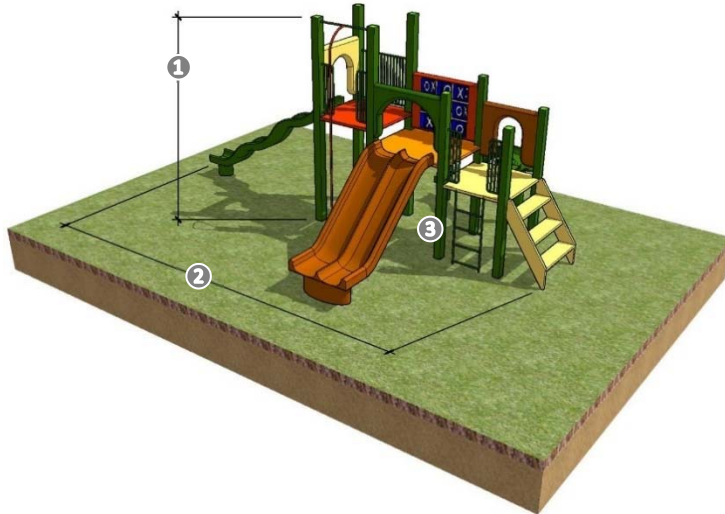
(18) Private Play Structure.

- (a) Definition. A private play structure is a permanent outdoor structure used by children for play, which is installed by the private property owner.
- (b) Prerequisites. A private play structure may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. A private play structure shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A private play structure can consist of arched ladders, vertical ladders, horizontal ladders, clatter bridge, timber structures, slides, fort and slide playset, climbers, play walls, play climbers, play pods, moon houses, jungle gyms, see-saws, merry-go-rounds, domes, rocket riders, tire swings, buoy balls, monkey bars, drums, chin-up bars, trampoline and rock walls; however, sandboxes and/or sand play areas shall not be permitted.
- (e) Construction Standards.

Exhibit 'A'

**Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)**

- (1) Building Materials. A private play structure shall be built out of aluminum, galvanized steel, rubber, and/or water-resistant wood; however, railroad ties and treated lumber are prohibited. The exterior color of a private play structure should blend and incorporate the same hues and tones of the surrounding landscaping.
 - (2) Height. A private play structure shall not exceed a maximum of eight (8) feet in height.
 - (3) Size. All private play structures will be situated in a collected area that is a maximum of 1,000 SF in area.
 - (4) Location. Private play structures shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A private play structures must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 20-Feet
- (g) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of a private play structures must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A private play structure must comply with all other applicable City of Rockwall codes.
 - (3) Emergency Response. The private play structure shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.
- (h) Visual Representation.



: MAXIMUM OF EIGHT (8) FEET IN HEIGHT; : TOTAL SQUARE FOOTAGE
SHALL NOT EXCEED A MAXIMUM OF 1,000 SF; : EXTERIOR COLOR
SHOULD BLEND WITH THE SURROUNDING LANDSCAPING.

(19) Private Utilities.

- (a) Definition. Private utilities are a system of underground cable line, pipelines, and wiring installed by the leasing property owner to maintain and operate improvements in the take area.
- (b) Prerequisites. Private utilities may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. Private utilities shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted.
 - (3) 425.5: Not Permitted.

Exhibit 'A'

**Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
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Unified Development Code (UDC)**

- (d) Conditional Use Standards. *Private utilities* are required to be buried in accordance with Chapter 38, *Subdivisions*, of the City of Rockwall's Municipal Code of Ordinances. *No* overhead private utility lines are permitted in the lease area. *Private utilities* containing natural gas, propane, gasoline, oil, diesel, or similar types of compounds shall not be permitted within the lease area. No part of any *On-Site Sanitary Sewer System* (OSSF) or any other private wastewater system or appurtenances shall be permitted within the lease area.
- (e) Construction Standards.
- (1) Building Materials. *Private utilities* shall only be constructed out of materials permitted by the City's Engineering Department.
 - (2) Location. *Private utilities* within 20-feet of the normal pool elevation shoreline (*i.e.* 435.5) shall be built to handle load factors associated with emergency and service vehicles. *Private utilities* containing electricity and communication lines built into structures over the water shall not be allowed below the 436.5-foot mean sea level elevation.
- (f) Setback Requirements. *Private utilities* must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 0-Feet
- (g) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of *private utilities* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A *private utility* must comply with all other applicable City of Rockwall codes.
 - (3) Damage to the System. Any damage or destruction to any *private utility* by public safety, utility, maintenance, or inspection personnel and/or their vehicles will be the responsibility of the leasing property owner.
- (20) Private Walkways.
- (a) Definition. *Private walkways* can be a single path or a network of paths installed by the leasing property owner in the takeline area.
 - (b) Prerequisites. *Private walkways* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.
 - (c) Elevation Zone. *Private walkways* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted (*if a Seawall has been constructed*).
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. *Private walkways* with steps are permitted (*see Landing and Stairs in Subsection 06.15(J)(11)*).
- (e) Construction Standards.
- (1) Building Materials. *Private walkways* shall be constructed using native stone, brick and/or rectangle pavers; however, *private walks* shall not consist of loose stone, gravel, sand, asphalt, or concrete.
 - (2) Height. *Private walkways* shall be flush with the surrounding grade, or work within the gradient present of the surrounding grade.
 - (3) Size. *Private walkways* shall be no greater than 48-inches in width.
 - (4) Location. *Private walkways* may encroach into an existing easement or right-of-way, encroach into an identified future easement or right-of-way, or encroach into an identified or set aside access path, provided that the property owner or sublease is responsible for repair and/or replacement of the walks in the event they are damaged or removed by the City or other public entity as a result of the necessary use of, or work within or around, said easements. An existing and future easement running through a lease property will be allowed to

Exhibit 'A'

**Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)**

substitute for the 12-foot wide primary access right-of-way path provided it is 12-feet wide, suitable for access, and will connect to adjacent access paths.

(f) Setback Requirements. *Private walkways* must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 10-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of *private walkways* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *private walkway* must comply with all other applicable City of Rockwall codes.
- (3) Damage to the System. Any damage or destruction to any *private walkway* by public safety, utility, maintenance, or inspection personnel and/or their vehicles will be the responsibility of the leasing property owner.

(21) Seawall.

- (a) Definition. A *seawall* is an engineered concrete or steel structure at the water's edge that is typically designed to curb shoreline erosion where it is installed.
- (b) Prerequisites. A *seawall* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. A *seawall* shall be allowed in the following zones:
 - (1) 438.0: Not Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Permitted.

NOTE: Seawalls are only permitted along the shoreline.

(d) Construction Standards.

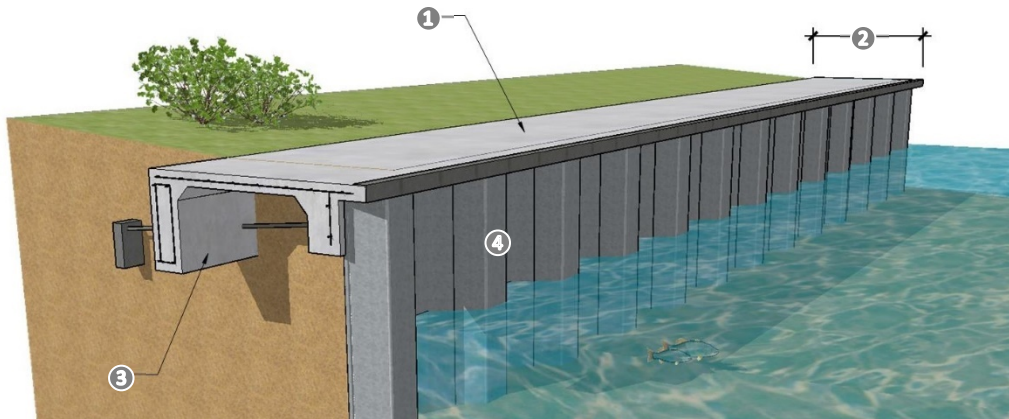
- (1) Concrete Cap. A six (6) foot wide concrete cap must be constructed along the entire length of the erosion control structure. In order to allow the backfill material to properly settle, the construction of the concrete cap may be delayed for several weeks/months after the construction of the erosion control structure; however, in no case should the construction of the concrete cap be delayed for a time period exceeding one (1) year from the date of construction of the erosion control structure.

(e) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a *seawalls* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *seawall* must comply with all other applicable City of Rockwall codes.

(f) Visual Representation.

Exhibit 'A'
Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)



1 : CONCRETE WALKWAY; 2 : SIX (6) FOOT MINIMUM; 3 : 24-INCH BY TEN (10) INCH BEAM WITH #3 REBAR ON 18-INCH CENTERS; 4 : RETAINING WALL.

(22) Sprinkler/Irrigation System.

- (h) Definition. A sprinkler/irrigation system is an underground irrigation network used to water and maintain trees, shrubs, grounds, and the foundations of improvements.
- (i) Prerequisites. A sprinkler/irrigation system may only be constructed on a property that has a valid Residential Sublease Agreement from the City of Rockwall.
- (j) Elevation Zone. A sprinkler/irrigation system shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted.
 - (3) 425.5: Not Permitted.

Note: The prohibition of sprinkler/irrigation systems in the 425.5 Elevation Zone does not include the pumps or lines necessary to pump raw water, when a property owner has been granted permission to do so from the City of Dallas.

- (k) Conditional Use Standards. A sprinkler/irrigation system must be connected to the leasing property owner's existing water supply source with approved backflow prevention devices.
- (l) Construction Standards.
 - (1) Building Materials. A sprinkler/irrigation system shall only be constructed utilizing Schedule 40 PVC pipe.
 - (2) Height. The heads of a sprinkler/irrigation system used for shrubs shall extend no higher than three (3) feet from the average base of the surrounding terrain within a three (3) foot radius of the head.
 - (3) Location. A sprinkler/irrigation system shall be allowed up to one (1) foot of the normal pool elevation shoreline (i.e. 435.5) provided no part of the system could potentially result in lake siltation erosion.
- (m) Setback Requirements. A sprinkler/irrigation system must adhere to the following setbacks:
 - (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 0-Feet
- (n) Additional Requirements.
 - (1) Earth Work. Earth work required for the construction of a sprinkler/irrigation system must comply with the erosion control standards set forth in the Interlocal Lease Agreement.
 - (2) Compliance with Applicable Codes. A sprinkler/irrigation system must comply with all other applicable City of Rockwall codes.
 - (3) Damage to the System. Any damage or destruction to any part of a sprinkler/irrigation system by public safety, utility, maintenance, or inspection personnel and/or their vehicles will be the responsibility of the leasing property owner.

Exhibit 'A'

*Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)*

Exhibit 'B'

Section 07.05, Lake Ray Hubbard Takeline Overlay (TL OV) District Development Standards, of Article 05, Development Standards, of the Unified Development Code (UDC)

LAND USE ¹	CONDITIONAL USE REFERENCE SEE SUBSECTION 06.15(J)	PRE-REQUISITES L: SUBLEASE, S: SEAWALL, FP: FIXED PIER	ELEVATION ZONES			MINIMUM SIZE (FEET OR SQUARE FEET)	MAXIMUM SIZE (FEET, INCHES, OR SQUARE FEET)	MINIMUM HEIGHT (FEET OR INCHES)	MAXIMUM HEIGHT (FEET)	SIDE YARD SETBACK (FEET)	BUILDING MATERIALS
			438.0	435.5	425.5						
BARBECUE PIT	(1)	L	P	X	X	3' x 3'	8' x 3'	0'	6'	6'	NS, B, C, AND IR
BOAT HOUSE ^{2, 4, 5, & 15}	(2)	L, S, & FP	X	X	P	8' x 30'	12' x 30'	16'	21'	10'	CM FOR CATWALK AND DECKING; GM, IR, S, OR A FOR THE SUPPORTS ³ ; CM, GM, IR, S, A, CW, IW, OR RW FOR ROOF BEAMS; AND SSM FOR THE ROOF
COVERED PATIO ^{5 & 15}	(3)	L & S ¹⁶	P	P	X	0'	12' x 20'	0'	15' ^{6 & 7}	20'	CW, IW, & RW IN THE 438.0 ELEVATION ZONE; CM OR M IN THE 435.5 ELEVATION ZONE; SSM FOR THE ROOF
DECK ^{5 & 18}	(4)	L & S ¹⁶	P	P	X	0'	1,000 SF	2' OR 24"	1'	20'	CM FOR THE DECKING, C FOOTINGS FOR FOUNDATION, AND WR FOR FENCING/RAILING
DOCK DECK ^{2 & 5}	(5)	L, S, & FP	X	X	P	8' x 10'	12' x 30'	0'	8' ⁸	10'	CM
FENCE	(6)	L	P	X	X	0'	45'	4'	4'	0'	WR
FLAGPOLE ^{5 & 9}	(7)	L & S ¹⁶	P	P	X	5" BASE	8" BASE	0'	20'	6'	SS OR A
FIXED PIER ^{2 & 5}	(8)	L & S	X	X	P	0'	6' x 40'	0'	8' ¹⁰	10'	CM FOR CATWALK AND DECKING; CM OR S FOR RAILINGS
FIRE PIT	(9)	L & S ¹⁶	P	X	X	3' x 3'	5' x 5'	0'	3'	6'	NS, B, AND C
GAZEBO ^{5 & 15}	(10)	L & S ¹⁶	P	P	X	0'	12' x 12'	0'	15' ^{18' 7 & 11}	20'	CW, RW, IW, CM, OR M IN THE 438.0 ELEVATION ZONE; AND CM OR M IN THE 435.5 ELEVATION ZONE
LANDING AND STAIRS	(11)	L & S ¹⁷	P	P	P	0'	8' x 8' x 6'	3'	SAME AS RETAINING WALL	5'	NS, B, AND C FOR THE STAIRS; WR OR BLACK S FOR THE RAILINGS AND/OR FENCE
PATIO ^{5 & 18}	(15)	L	P	P	X	0'	1,000 SF	0'	1'	20'	NS FOR THE DECK AREA AND WR FOR RAILINGS
PERGOLA ⁵	(16)	L & S ¹⁶	P	P	X	0'	12' x 20'	0'	12' ⁷	20'	CW, RW, IW, OR CM IN THE 438.0 ELEVATION ZONE; CM OR M IN THE 435.5 ELEVATION ZONE
PICNIC TABLE	(17)	L	P	P	X	0'	8' x 10'	0'	3' OR 36"	6'	NS, B, AND C
PRIVATE PLAY STRUCTURE	(18)	L	P	X	X	0 SF	1,000 SF	0'	8'	20'	A, GM, R, CW, RW, AND IW
PRIVATE WALKWAYS	(20)	L & S ¹⁶	P	P	X	0'	48" WIDE	0'	FLUSH WITH GRADE	10'	NS, B, AND RECTANGULAR PAVERS
LANDSCAPING AND RETAINING WALLS ^{12 & 13}	(22)	L	P	P	X	NOTES:					
MUNICIPAL UTILITIES	(13)	NONE	P	P	P	1: FOR ALL LAND USES CHECK SECTION 06.15, LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT FOR ADDITIONAL REQUIREMENTS AND RESTRICTIONS.					
OUTDOOR LIGHTING	(14)	L	P	X	X	2: BOATHOUSES, FIXED PIERS, DOCK DECKS, OR ANY COMBINATION OF THESE STRUCTURES MAY NOT EXTEND MORE THAN 40-FEET INTO THE WATER FROM THE 435.5 ELEVATION CONTOUR.					
PRIVATE UTILITIES	(19)	L	P	P	X	3: REQUIRES A HIP ROOF, A MINIMUM OF 2:1 ROOF PITCH, WITH ONE (1) CUPOLA (3' x 4') IN THE MIDDLE OF THE ROOF OR TWO (2) CUPOLAS (3' x 4') AT EACH END OF THE ROOF.					
SEAWALL	(21)	L	X	X	P	4: SUPPORT POSTS MAY BE WRAPPED IN A COMPOSITE MATERIAL.					
SPRINKLER/ IRRIGATION SYSTEM ¹⁴	(22)	L	P	P	X	5: THE STRUCTURE SHALL BE GENERALLY CENTERED IN THE LEASE AREA BEHIND THE PRIMARY STRUCTURE ON THE LEASING PROEPRTY IF LOCATED IN THE 435.5 OR 425.5 ELEVATION ZONES (IF PERMITTED IN THE ZONE).					
						6: REQUIRES A HIP OR GABLE ROOF WITH A CUPOLA OR CLERESTORY AND A MINIMUM ROOF PITCH OF 4:1.					
						7: SHALL NOT EXCEED ONE (1) STORY OR BE USED AS A ROOF TOP DECK.					
						8: EIGHT (8) FEET ABOVE THE SURFACE AREA OF THE FLAT FLOOR SURFACE WITH NO MORE THAN					

FOUR (4) POLE STRUCTURES ALLOWED.

⁹: A MAXIMUM OF TWO (2) FLAG POLES ARE PERMITTED AND ONLY THE UNITED STATES OF AMERICA AND TEXAS FLAGS ARE TO BE FLOWN.

¹⁰: EIGHT (8) FEET ABOVE THE SURFACE AREA OF THE FLAT FLOOR SURFACE WITH NO MORE THAN TWO (2) POLE STRUCTURES ALLOWED.

¹¹: REQUIRES A HIP OR GABEL ROOF OR A HIP AND/OR GABEL ROOF, WITH A MINIMUM ROOF PITCH OF 2:1, AND THAT IS A MAXIMUM OF 15-FEET WITHOUT A CLERESTORY OR CUPOLA OR 18-FEET WITH A CLERESTORY OR CUPOLA.

Exhibit 'B'

*Section 07.05, Lake Ray Hubbard Takeline Overlay (TL OV) District Development Standards, of
Article 05, Development Standards, of the
Unified Development Code (UDC)*

- ¹²: REMEDIAL LANDSCAPING ALLOWED IN THE 425.5 ELEVATION ZONE WITH THE INTENT TO MAINTAIN THE INTEGRITY OF THE SHORELINE.
- ¹³: RETAINING WALLS THAT ARE A PART OF LANDSCAPING ARE LIMITED TO LESS THAN THREE (3) FEET IN HEIGHT.
- ¹⁴: HEADS SHOULD EXTEND NO HIGHER THAN THREE (3) FEET FROM THE AVERAGE BASE OF THE SURROUND TERRAIN WITHIN A THREE (3) FOOT RADIUS OF THE HEAD.
- ¹⁵: ROOF OVERHANGS SHALL NOT EXCEED 18-INCHES.
- ¹⁶: A SEAWALL IS ONLY REQUIRED FOR CONSTRUCTION IN THE 435.5 ELEVATION ZONE.
- ¹⁷: A SEAWALL IS ONLY REQUIRED FOR CONSTRUCTION IN THE 435.5 OR 425.5 ELEVATION ZONES.
- ¹⁸: HANDRAILS ARE PROHIBITED IN THE 435.5 ELEVATION ZONE.

CITY OF ROCKWALL

ORDINANCE NO. 21-05

SPECIFIC USE PERMIT NO. S-241

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 9 (PD-9) AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.30-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 8, BLOCK A, SHADYDALE ESTATES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Travis Redden for the approval of a Specific Use Permit (SUP) for *Residential Infill adjacent to Established Subdivision* to allow the construction of a single-family home on a 0.30-acre parcel of land being described as Lot 8, Block A, Shadydale Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) [*Ordinance No. 13-43*] for single-family residential land uses, addressed as 38 Shadydale Lane, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 9 (PD-9) [*Ordinance No. 13-43*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 9 (PD-9) of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill adjacent to Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 9 (PD-9) [Ordinance No. 13-43] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4TH DAY OF JANUARY, 2021.**

Jim Pruitt, Mayor

ATTEST:

Kristy Cole, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: December 21, 2020

2nd Reading: January 4, 2021

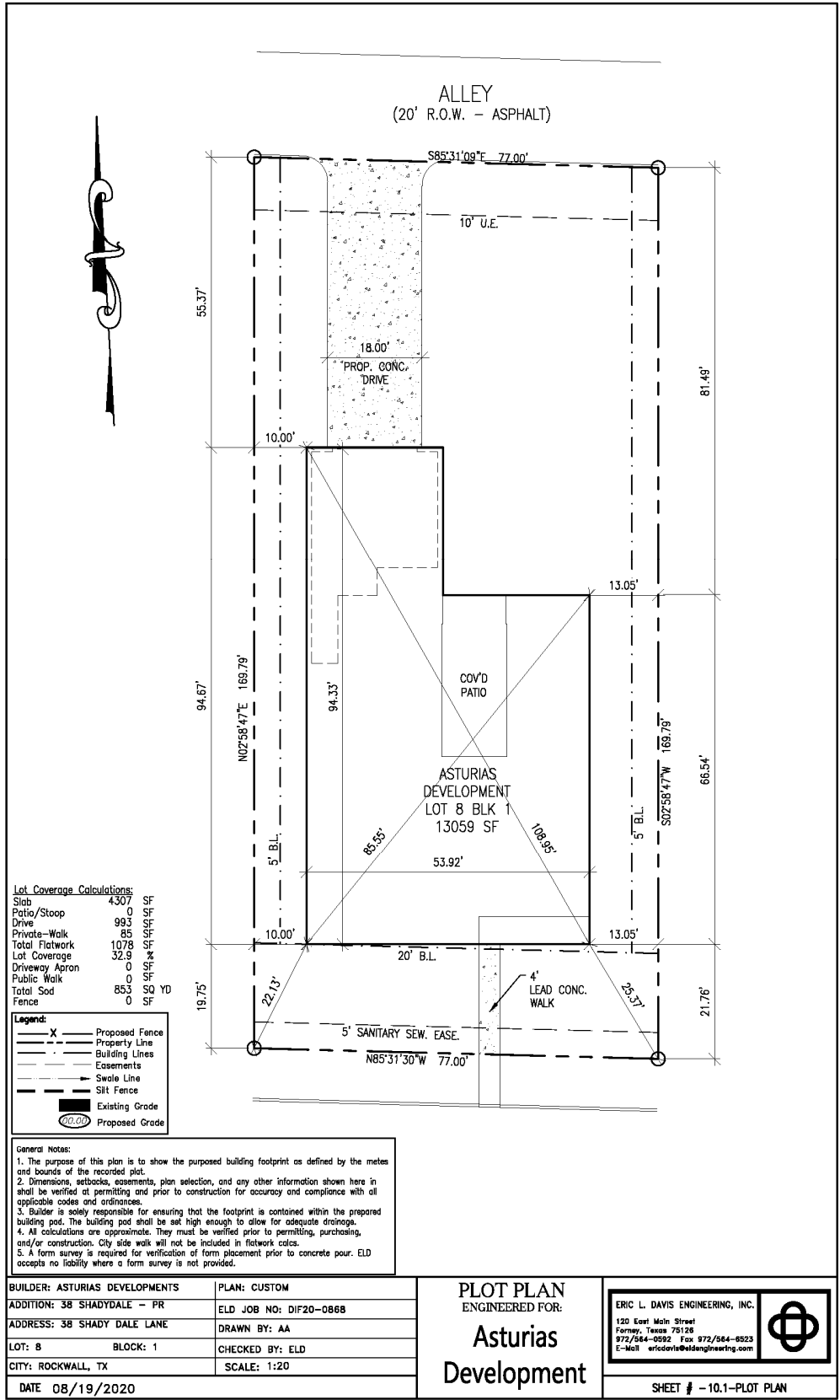
Exhibit 'A'
Location Map and Survey

Address: 38 Shadydale Lane

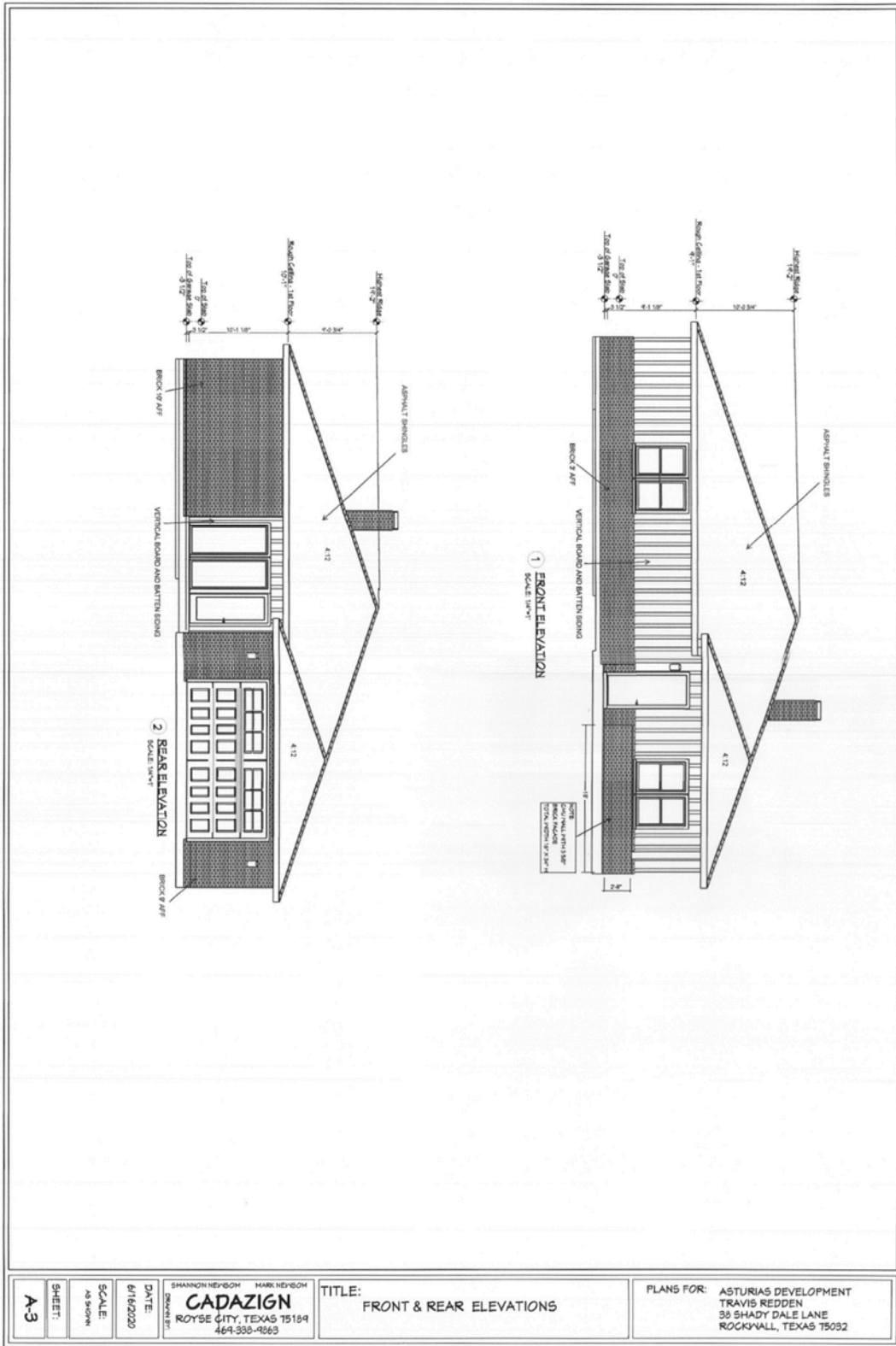
Legal Description: Lot 8, Block A, Shadydale Estates Addition



Exhibit 'B':
Residential Plot Plan

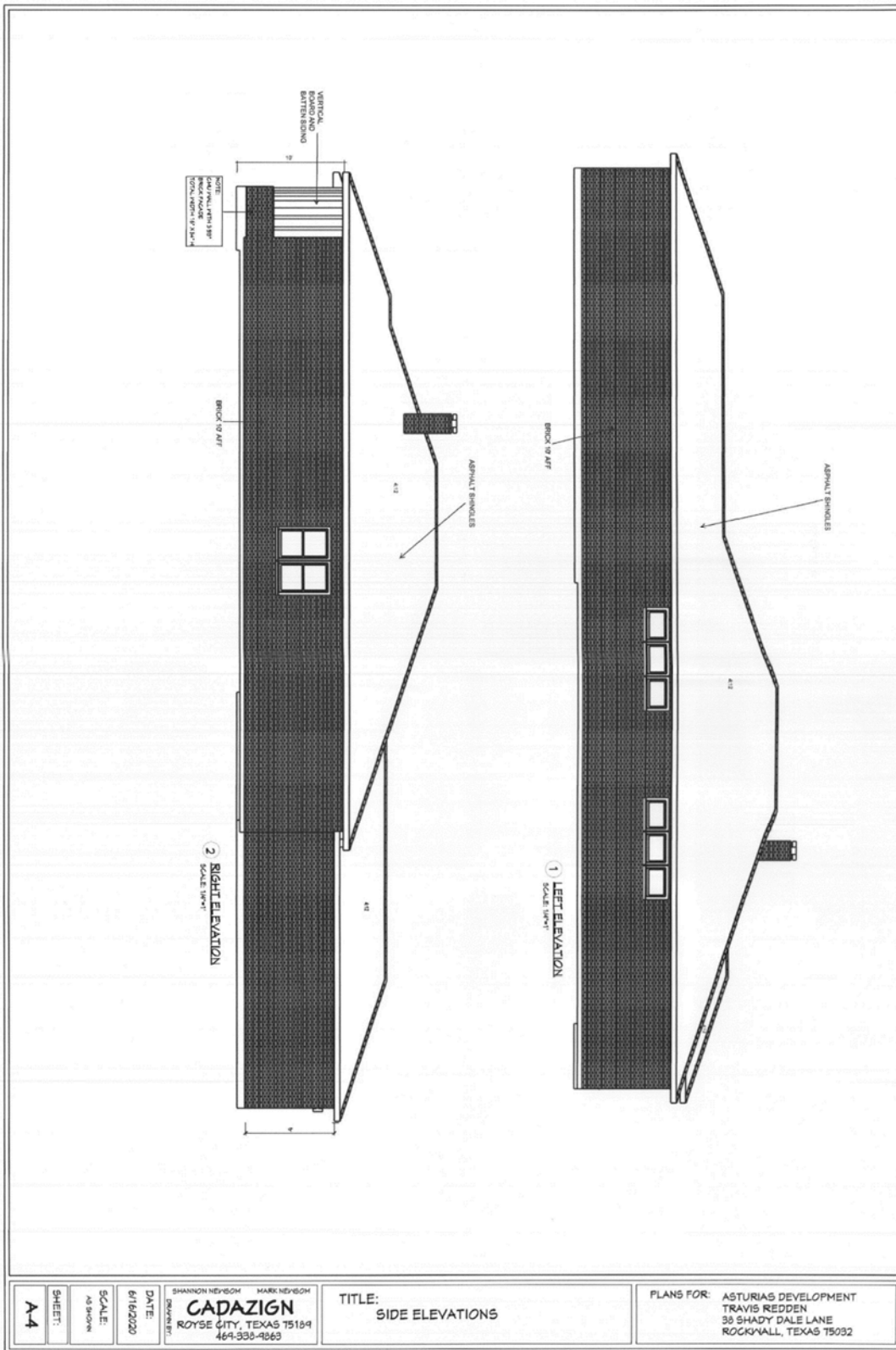


**Exhibit 'C':
Building Elevations**



SHEET: A-3	SCALE: AS SHOWN	DATE: 6/16/2020	DRAWN BY: SHANNON NEVIGH	CHECKED BY: MARI NEVIGH	TITLE: FRONT & REAR ELEVATIONS	PLANS FOR: ASTURIAS DEVELOPMENT TRAVIS REDDEN 30 SHADY DALE LANE ROCKWALL, TEXAS 75082

Exhibit 'C':
Building Elevations



A-4

SHEET:

AS SHOWN

SCALE:

6/16/2020

DATE:

SHANNON NEVSBOM

MARK NEVSBOM

CADAZIGN

ROYSE CITY, TEXAS 75184

469-333-4663

TITLE:

SIDE ELEVATIONS

PLANS FOR:

ASTURIAS DEVELOPMENT

TRAVIS REDDEN

38 SHADY DALE LANE

ROCKWALL, TEXAS 75082



City of Rockwall
The New Horizon

MEMORANDUM

TO: City Council

FROM: Joey Boyd, Assistant City Manager

DATE: December 16, 2020

SUBJECT: Texas Legislative Session

The 87th Session of the Texas State Legislature will convene on Tuesday, January 12, 2021. In previous years, the City has followed bills that propose to directly or indirectly affect the City's ability to provide services. Individual staff members will monitor their respective association's agendas, such as Texas Police Chiefs Association, Texas Fire Chiefs Association, Building Officials Association of Texas, and Texas Recreation and Parks Society. Below is a general list of topics that staff will initially begin following and add to as the legislative session continues.

Topics of Interest

- Transportation / Roadway Infrastructure
- Property Tax
- Sales Tax
- Local Control & Governance
- Development & Construction Regulations
- Public Safety
- Elections
- Texas Parks & Wildlife Grant Funding

Staff will look for direction from the City Council related to these topics or any other issues you would like to follow throughout the legislative session.



City of Rockwall
The New Horizon

Building Inspections Department Monthly Report

November 2020

Permits

Total Permits Issued:	228
Building Permits:	35
Contractor Permits:	193
Total Commercial Permit Values:	\$4,539,710.73
Building Permits:	\$3,600,000.00
Contractor Permits:	\$939,710.73
Total Fees Collected:	\$296,217.55
Building Permits:	\$253,151.01
Contractor Permits:	\$43,066.54

Board of Adjustment

Board of Adjustment Cases: 1

12/1/2020
9:02:01AM

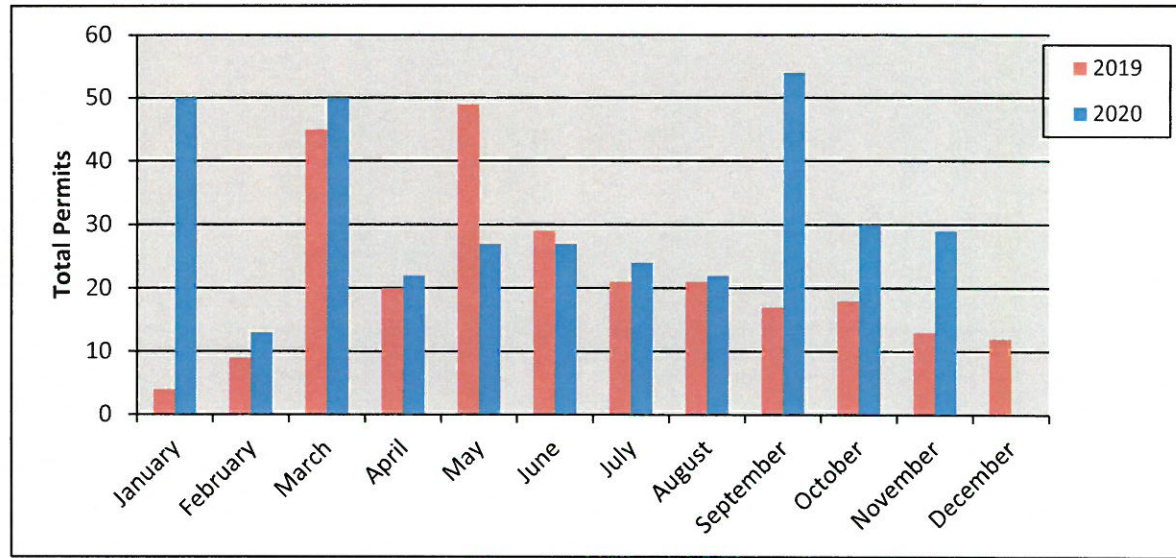
City of Rockwall
PERMITS ISSUED - Summary by Type and Subtype
For the Period 11/1/2020 to 11/30/2020

Type/Subtype	# of Permits Issued	Valuation of Work	Fees Charged
Commercial Building Permit	47	\$4,539,710.73	\$102,919.24
Addition	1	800,000.00	\$5,213.07
Certificate of Occupancy	13		\$825.00
Electrical Permit	6	5,800.00	\$393.95
Fence Permit	1		\$50.00
Irrigation Permit	5	36,800.00	\$17,661.23
Mechanical Permit	1	25,815.73	\$412.85
New Construction	2	2,800,000.00	\$71,311.79
Plumbing Permit	3	17,200.00	\$399.35
Remodel	5	797,200.00	\$5,702.00
Retaining Wall Permit	1		\$50.00
Roofing Permit	1	39,000.00	\$75.00
Sign Permit	7	17,895.00	\$525.00
Temporary Certificate of Occupancy	1		\$300.00
Residential Building Permit	181		\$193,298.31
Accessory Building Permit	2		\$259.40
Concrete Permit	8		\$972.80
Deck Permit	2		\$100.00
Driveway Permit	1		\$132.00
Electrical Permit	9		\$775.00
Fence Permit	28		\$1,400.00
Irrigation Permit	18		\$1,350.00
Mechanical Permit	12		\$1,450.00
New Construction	29		\$176,316.75
Patio Cover/Pergola	9		\$1,243.00
Plumbing Permit	28		\$2,275.00
Pool	7		\$1,000.00
Remodel	3		\$3,395.16
Retaining Wall Permit	5		\$350.00
Roofing Permit	8		\$600.00
Solar Panel Permit	4		\$1,279.20
Takeline - Boat House	1		\$50.00
Window & Door Permit	7		\$350.00
Totals:	228		\$296,217.55

New Residential Permits

Calendar Year

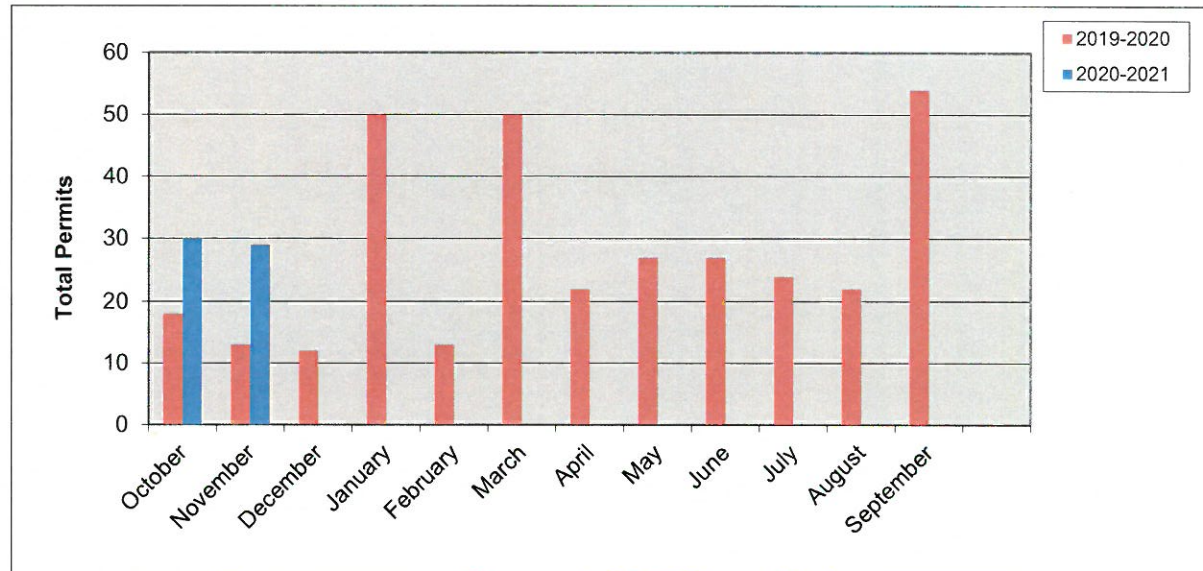
	Year	
	2019	2020
January	4	50
February	9	13
March	45	50
April	20	22
May	49	27
June	29	27
July	21	24
August	21	22
September	17	54
October	18	30
November	13	29
December	12	
Totals	258	348



New Residential Permits

Fiscal Year

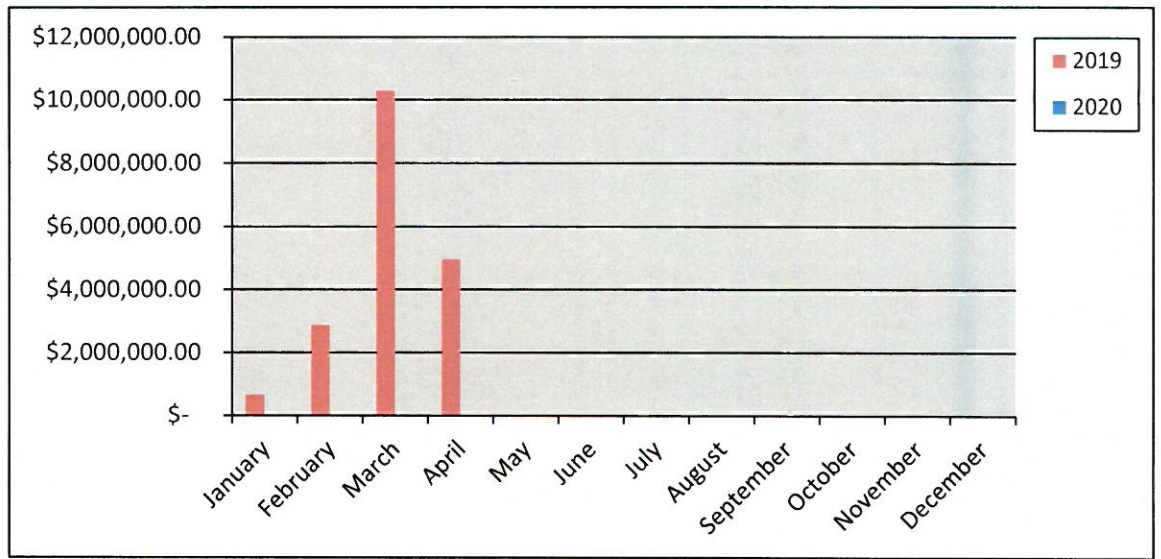
	Year	
	2019-2020	2020-2021
October	18	30
November	13	29
December	12	
January	50	
February	13	
March	50	
April	22	
May	27	
June	27	
July	24	
August	22	
September	54	
Totals	332	



New Residential Value

Calendar Year

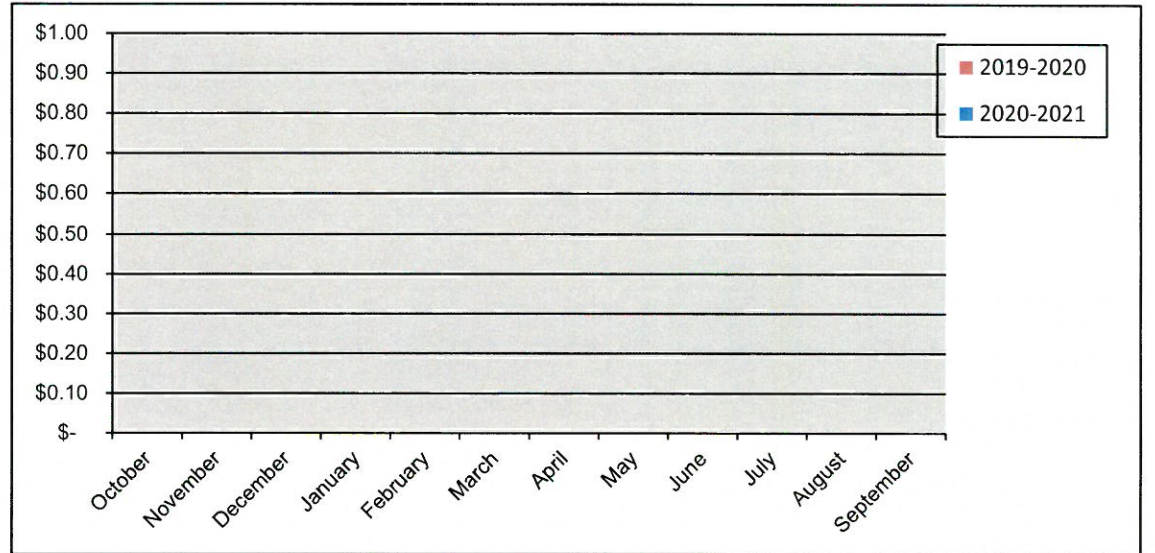
Year		
	2019	2020
January	\$ 681,618.00	\$ -
February	\$ 2,897,344.85	\$ -
March	\$ 10,294,717.00	\$ -
April	\$ 4,977,668.00	\$ -
May		\$ -
June		\$ -
July		\$ -
August		\$ -
September		\$ -
October		\$ -
November		\$ -
December		\$ -
Totals	\$ 18,851,347.85	\$ -



New Residential Value

Fiscal Year

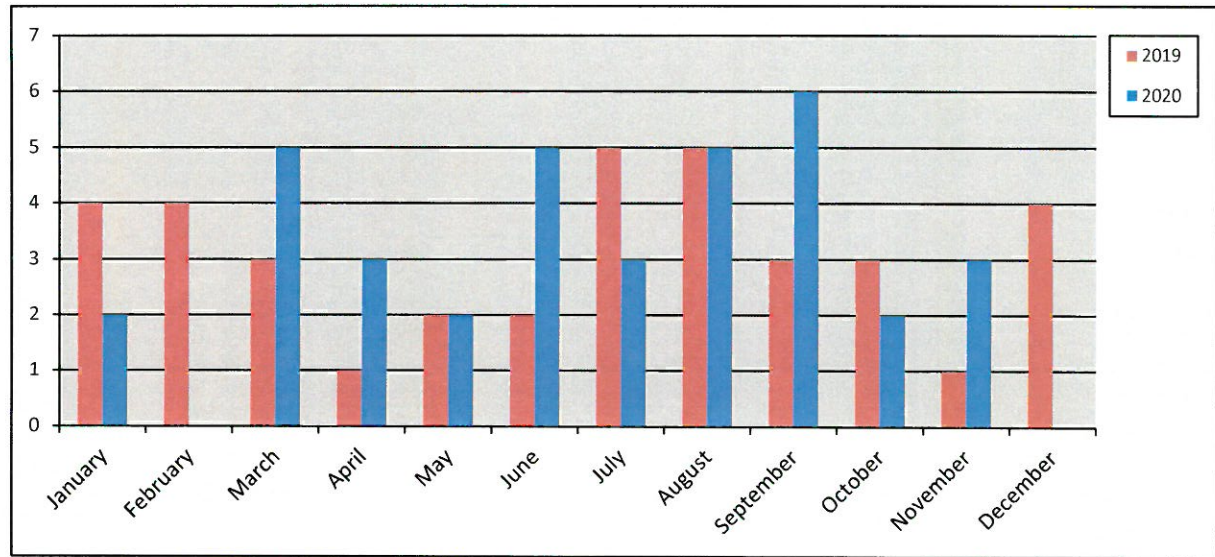
Year		
	2019-2020	2020-2021
October	\$ -	\$ -
November	\$ -	\$ -
December	\$ -	\$ -
January	\$ -	\$ -
February	\$ -	\$ -
March	\$ -	\$ -
April	\$ -	\$ -
May	\$ -	\$ -
June	\$ -	\$ -
July	\$ -	\$ -
August	\$ -	\$ -
September	\$ -	\$ -
Totals	\$ -	\$ -



Residential Remodel Permits

Calendar Year

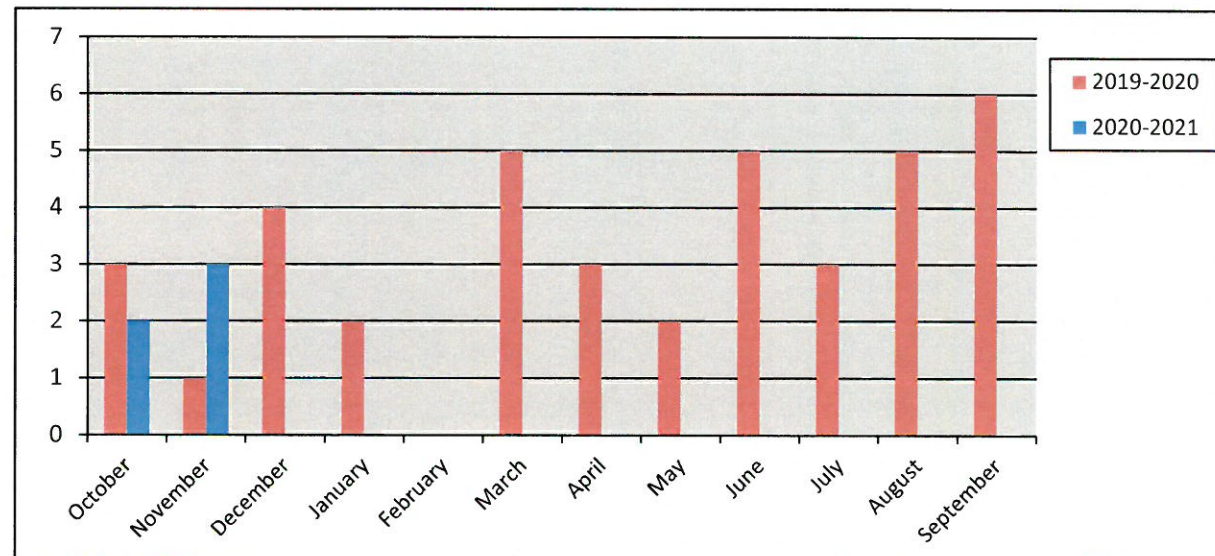
Year		
	2019	2020
January	4	2
February	4	0
March	3	5
April	1	3
May	2	2
June	2	5
July	5	3
August	5	5
September	3	6
October	3	2
November	1	3
December	4	
Totals	37	36



Residential Remodel Permits

Fiscal Year

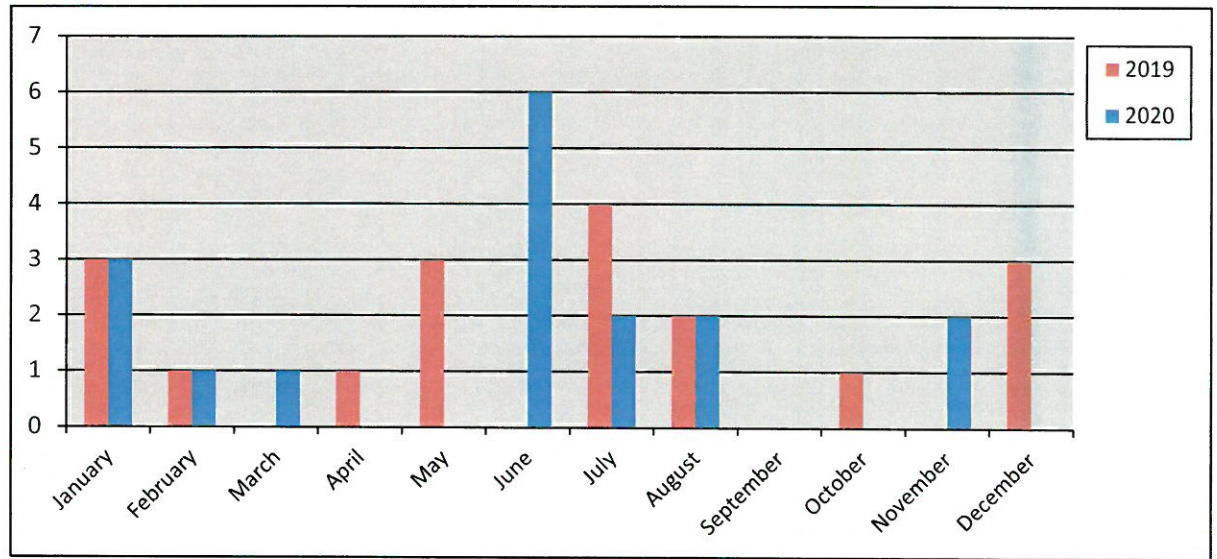
Year		
	2019-2020	2020-2021
October	3	2
November	1	3
December	4	
January	2	
February	0	
March	5	
April	3	
May	2	
June	5	
July	3	
August	5	
September	6	
Totals	39	5



New Commercial Permits

Calendar Year

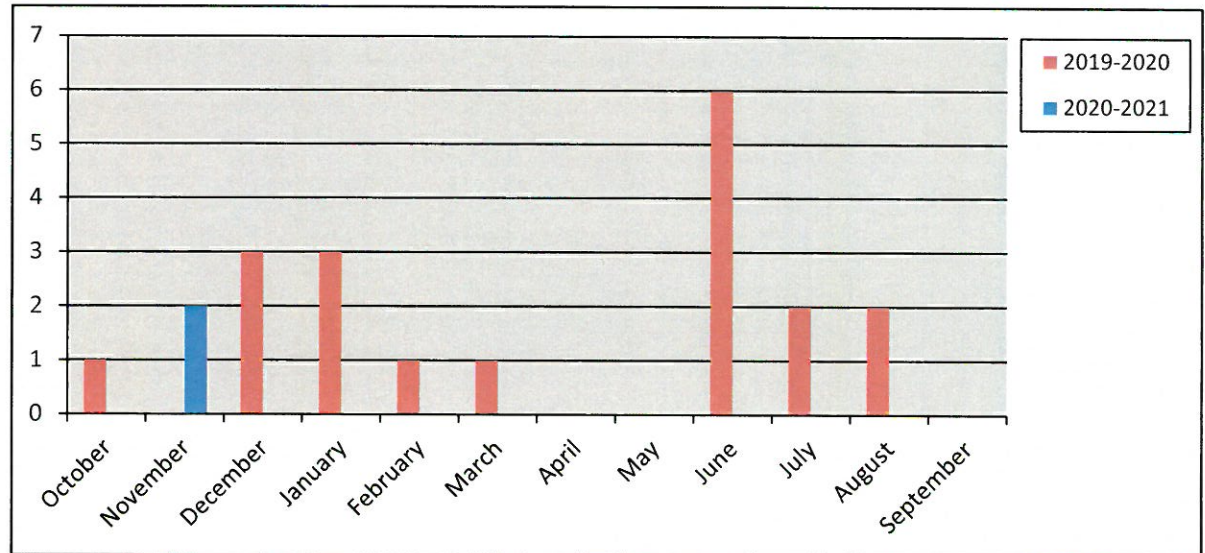
	Year	
	2019	2020
January	3	3
February	1	1
March	0	1
April	1	0
May	3	0
June	0	6
July	4	2
August	2	2
September	0	0
October	1	0
November	0	2
December	3	
Totals	18	17



New Commercial Permits

Fiscal Year

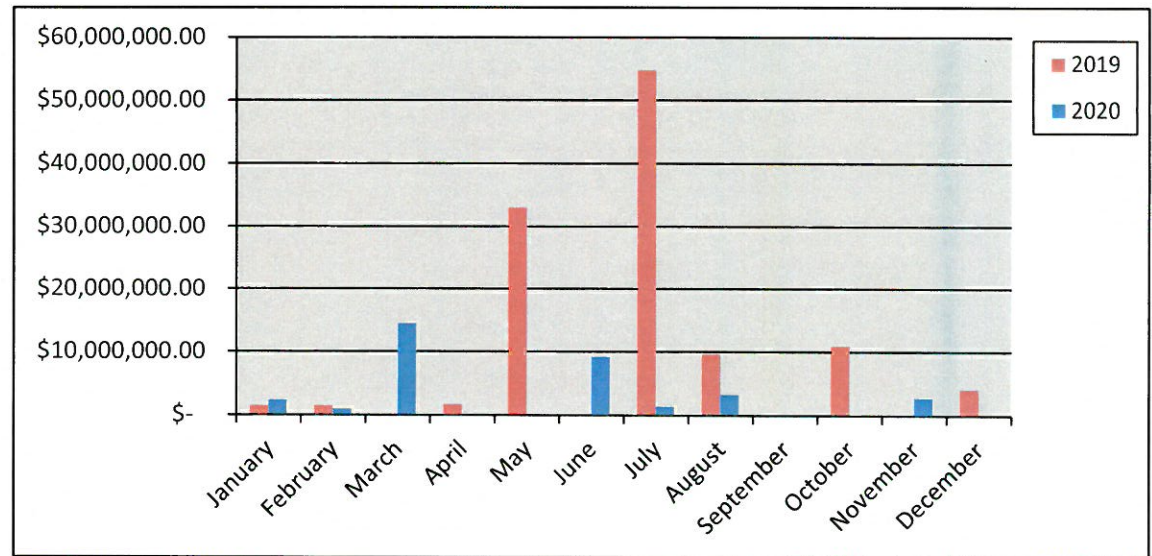
	Year	
	2019-2020	2020-2021
October	1	0
November	0	2
December	3	
January	3	
February	1	
March	1	
April	0	
May	0	
June	6	
July	2	
August	2	
September	0	
Totals	19	2



New Commercial Value

Calendar Year

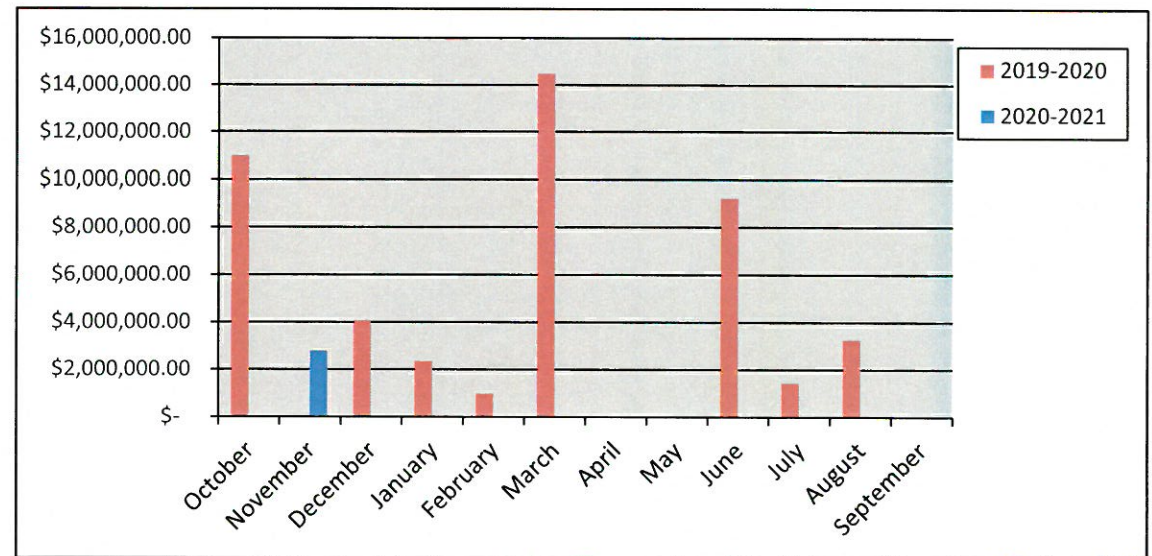
	Year	
	2019	2020
January	\$ 1,530,000.00	\$ 2,375,000.00
February	\$ 1,500,000.00	\$ 995,000.00
March	-	\$ 14,500,000.00
April	\$ 1,700,000.00	-
May	\$ 32,969,700.00	-
June	\$ -	\$ 9,244,001.00
July	\$ 54,900,000.00	\$ 1,445,000.00
August	\$ 9,736,987.00	\$ 3,284,065.00
September	\$ -	\$ -
October	\$ 11,000,000.00	\$ -
November	\$ -	\$ 2,800,000.00
December	\$ 4,100,000.00	
Totals	\$ 117,436,687.00	\$ 34,643,066.00



New Commercial Value

Fiscal Year

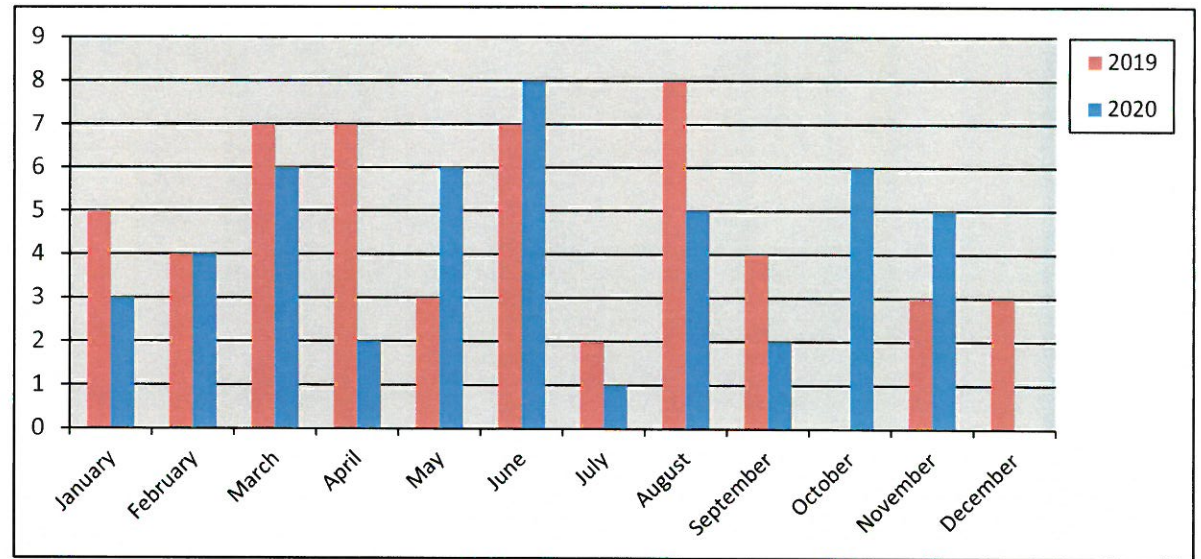
	Year	
	2019-2020	2020-2021
October	\$ 11,000,000.00	\$ -
November	\$ -	\$ 2,800,000.00
December	\$ 4,100,000.00	
January	\$ 2,375,000.00	
February	\$ 995,000.00	
March	\$ 14,500,000.00	
April	-	
May	-	
June	\$ 9,244,001.00	
July	\$ 1,445,000.00	
August	\$ 3,284,065.00	
September	\$ -	
Totals	\$ 46,943,066.00	\$ 2,800,000.00



Commercial Remodel Permits

Calendar Year

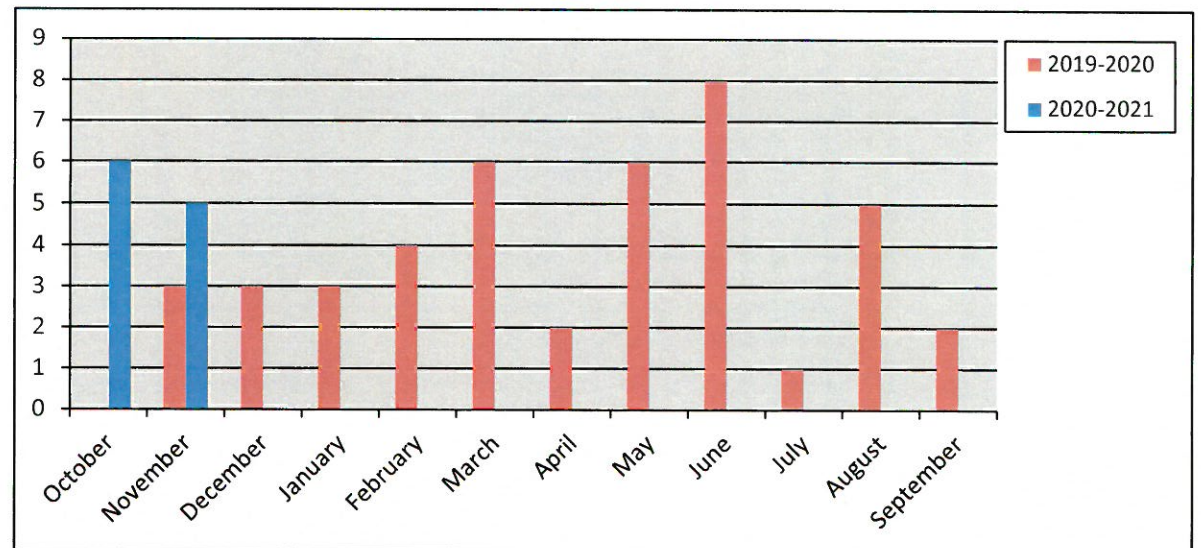
Year		
	2019	2020
January	5	3
February	4	4
March	7	6
April	7	2
May	3	6
June	7	8
July	2	1
August	8	5
September	4	2
October	0	6
November	3	5
December	3	
Totals	53	48



Commercial Remodel Permits

Fiscal Year

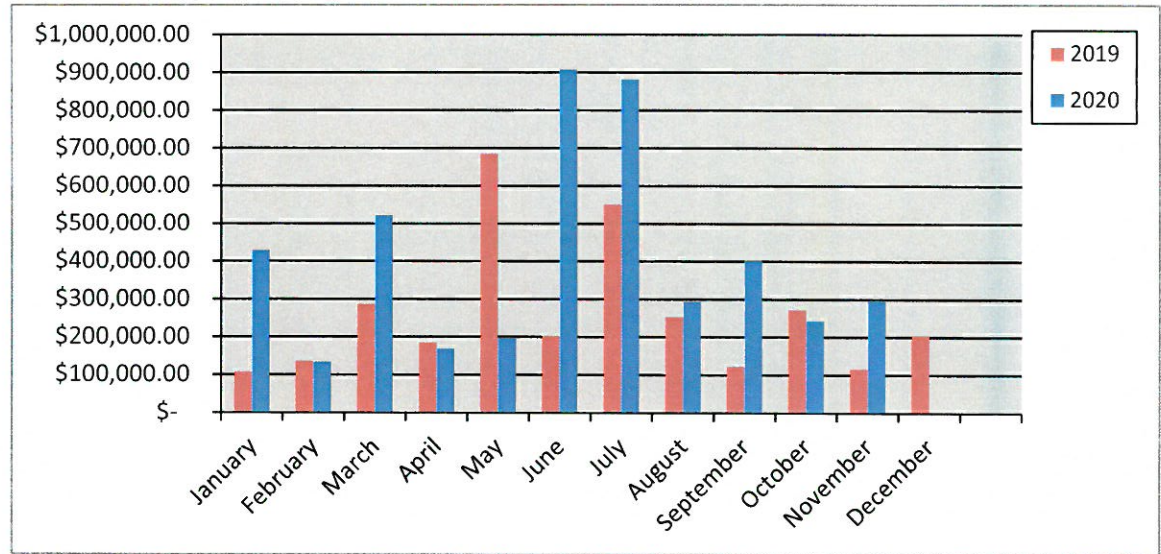
Year		
	2019-2020	2020-2021
October	0	6
November	3	5
December	3	
January	3	
February	4	
March	6	
April	2	
May	6	
June	8	
July	1	
August	5	
September	2	
Totals	43	11



Total Fees Collected

Calendar Year

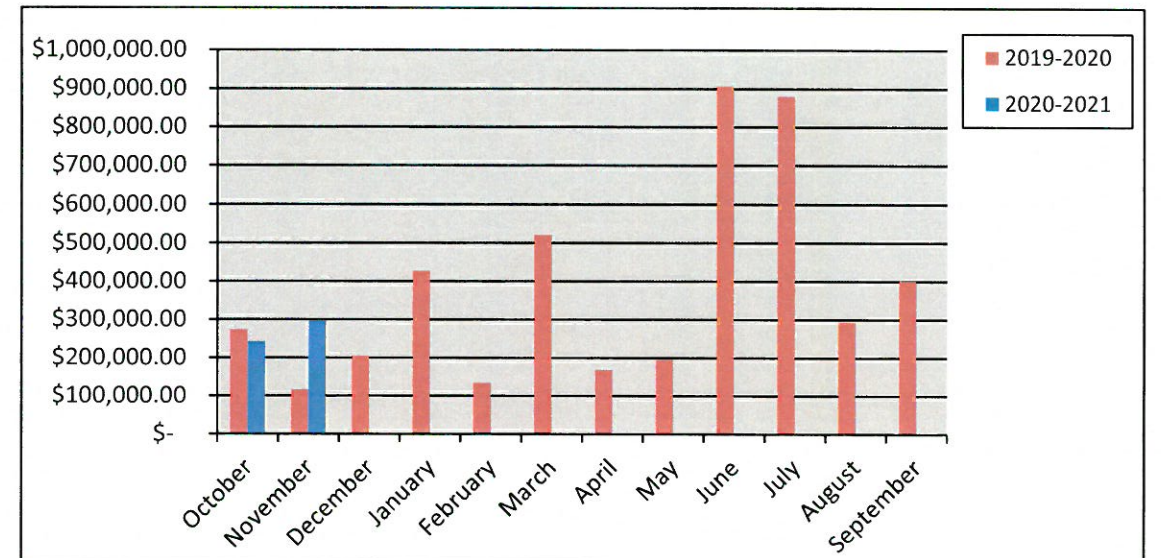
	Year	
	2019	2020
January	\$ 108,325.23	\$ 427,697.11
February	\$ 137,260.79	\$ 134,061.03
March	\$ 288,576.03	\$ 521,238.63
April	\$ 186,555.47	\$ 169,632.18
May	\$ 685,938.85	\$ 196,119.77
June	\$ 203,335.14	\$ 906,969.19
July	\$ 551,248.76	\$ 880,396.43
August	\$ 254,601.49	\$ 294,303.58
September	\$ 123,811.68	\$ 401,730.63
October	\$ 274,121.49	\$ 242,859.42
November	\$ 116,656.13	\$ 296,217.55
December	\$ 205,859.61	
Totals	\$ 3,136,290.67	\$ 4,471,225.52



Total Fees Collected

Fiscal Year

	Year	
	2019-2020	2020-2021
October	\$ 274,121.49	\$ 242,859.42
November	\$ 116,656.13	\$ 296,217.55
December	\$ 205,859.61	
January	\$ 427,697.11	
February	\$ 134,061.03	
March	\$ 521,238.63	
April	\$ 169,632.18	
May	\$ 196,119.77	
June	\$ 906,969.19	
July	\$ 880,396.43	
August	\$ 294,303.58	
September	\$ 401,730.63	
Totals	\$ 4,528,785.78	\$ 539,076.97



For the Period 11/1/2020 to 11/30/20

Permit Number	Permit Type	Site Address	Parcel Number	Total Fees
Application Date	Subtype	Subdivision Name		
Issue Date	Status of Permit	Plan Number	Valuation	Total SQFT Fees Paid
CO1999-1178	Commercial Building Permit			
11/05/2020	Certificate of Occupancy	2885 Market Center Dr,		
11/05/2020	ISSUED	Rockwall, TX 75087		5,527.00

Contact Type	Contact Name	Contact Address			
Owner	R W Market Center Associates	8150 N Central Expwy #795	Dallas	TX	75206
Owner	Bath & Body Works	3 Limited Pkwy	Columbus	OH	43230
Property Owner	Rockwall Dunhill LLC	3100 MONTICELLO AVENUE	Dallas	TX	75205
Contact	Andrew (GC)	Horizon Retail			
Business Owner	Bath & Body Works	2885 Market Center Dr	Rockwall	TX	75032
Business	Bath & Body Works	2885 Market Center	Rockwall	TX	75032

Contractors

CO2020-0035	Commercial Building Permit			
11/06/2020	Certificate of Occupancy	6520 ALLIANCE DR,		\$75.00 \$75.00
11/06/2020	ISSUED	ROCKWALL, TX 75032		4,900.00

Contact Type	Contact Name	Contact Address			
Owner	N&H Legacy Partners, LLC	PO Box 818	Terrell	TX	75160
Applicant	N&H Legacy Partners, LLC	PO Box 818	Terrell	TX	75160
Business Owner	N&H Legacy Partners, LLC	PO Box 818	Terrell	TX	75160
Business Owner	N&H Legacy Partners, LLC	6520 Alliance Dr	Rockwall	TX	75032

Contractors

CO2020-0048	Commercial Building Permit			
11/06/2020	Certificate of Occupancy	506 N Goliad St,		\$75.00 \$75.00
11/30/2020	ISSUED	Rockwall, TX 75087		2,324.00

Contact Type	Contact Name	Contact Address			
Owner	Stuart & Brenda Myers	506 N Goliad St	ROCKWALL	TX	75087
Applicant	Tommie Wells	506 N Goliad St	Rockwall	TX	75087
Business Owner	Tommie Wells	506 N Goliad St	Rockwall	TX	75087
Business Owner	Lakeside Florist	506 N Goliad St	ROCKWALL	TX	75087

Contractors

COM2020-2803	Commercial Building Permit			
08/12/2020	Certificate of Occupancy	201 N ALAMO RD,		\$75.00 \$75.00
11/04/2020	ISSUED	ROCKWALL, 75087		1,856.00

Contact Type	Contact Name	Contact Address			
Business Owner	CHANDLER CLARK	201 N ALAMO RD	Rockwall	TX	75087
Property Owner	BILL WAY	8441 S FM 549	Rockwall	TX	75032

PERMITS ISSUED

For the Period 11/1/2020 to 11/30/20

Permit Number	Permit Type	Site Address	Valuation	Total Fees	Fees Paid
Application Date	Subtype	Parcel Number			
Issue Date	Status of Permit	Subdivision Name		Total SQFT	
		Plan Number			
Contractors					
COM2020-3273	Commercial Building Permit				
08/31/2020	Certificate of Occupancy	915 N. Goliad St.,		\$75.00	\$75.00
11/10/2020	ISSUED	Rockwall, TX, 75087		2,398.00	
Contact Type					
Business Owner	Jenny Krueger, CEO	915 N. Goliad St.	Rockwall	TX	75087
Property Owner	Debbie Adams	208 Summit Ridge	Rockwall	TX	75087
Contractors					
COM2020-3668	Commercial Building Permit				
09/22/2020	Certificate of Occupancy	6520 Alliance Dr., Suite		\$75.00	\$75.00
11/06/2020	ISSUED	110, Rockwall, TX 75032		1,799.00	
Contact Type					
Business Owner	Jarrold Ham	6520 Alliance, Suite 110	Rockwall	TX	75032
Property Owner	N&H Legacy Partners, LLC	1608 W. Moore Ave. #B	Terrell	TX	75160
Contractors					
COM2020-3830	Commercial Building Permit				
09/29/2020	Certificate of Occupancy	811 E YELLOW JACKET		\$75.00	\$75.00
11/03/2020	ISSUED	LN, S. 107 Rockwall, TX 75087		500.00	
Contact Type					
Business Owner	LaKquise Sparks & Jalya Moore	811 E. Yellowjacket Ln, Suite 107	Rockwall	TX	75087
Property Owner	Landlow, LLC.	811 W. Yellowjacket Ln.	Rockwall	TX	75087
Contractors					
COM2020-4039	Commercial Building Permit				
10/07/2020	Certificate of Occupancy	2005 A Industrial Blvd.,		\$75.00	\$75.00
11/12/2020	ISSUED	Rockwall, TX 75087		7,500.00	
Contact Type					
Business Owner	Richard Pietrykowski	2005 A Industrial Blvd.	Rockwall	TX	75087
Property Owner	Rockwall Steel	PO Box 159	Rockwall	TX	75087
Contractors					

For the Period 11/1/2020 to 11/30/20

Permit Number	Permit Type	Site Address	Parcel Number	Total Fees	
Application Date	Subtype	Subdivision Name			
Issue Date	Status of Permit	Plan Number	Valuation	Total SQFT	Fees Paid
COM2020-4360	Commercial Building Permit				
10/22/2020	Certificate of Occupancy	803 N. Goliad St.,		\$75.00	\$75.00
11/10/2020	ISSUED	Rockwall, TX 75087		1,755.00	
Contact Type					
Business Owner	Kurt Naumann	803 N. Goliad St.	Rockwall	TX	75087
Property Owner	Scott Milder	501 Camp Creek Rd.	Rockwall	TX	75087
Contractors					
COM2020-4391	Commercial Building Permit				
10/26/2020	Certificate of Occupancy	1003 S Goliad St.,		\$75.00	\$75.00
11/10/2020	ISSUED	Rockwall, TX 75087		5,500.00	
Contact Type					
Business Owner	William Homes	1003 S. Goliad St.	Rockwall	TX	75087
Property Owner	Tom Walker	902 Lake Meadows Dr.	Rockwall	TX	75087
Contractors					
COM2020-4393	Commercial Building Permit				
10/26/2020	Certificate of Occupancy	206 W. Rusk St.,		\$75.00	\$75.00
11/11/2020	ISSUED	Rockwall, TX 75087		2,100.00	
Contact Type					
Business Owner	Arzie Odza	206 W. Rusk St.	Rockwall	TX	75087
Property Owner	Ed Heath	7960 W. State Highway 66	Royse City	TX	75189
Contractors					
COM2020-4727	Commercial Building Permit				
11/12/2020	Certificate of Occupancy	2313 Ridge Rd. Suite 103,		\$75.00	\$75.00
11/19/2020	ISSUED	Rockwall, TX 75087		1,626.00	
Contact Type					
Business Owner	David Eaker	2313 Ridge Rd. Suite 103	Rockwall	TX	75087
Property Owner	Global Advance	2313 Ridge Rd., Suite 101	Rockwall	TX	75087
Contractors					
COM2020-4885	Commercial Building Permit				
11/20/2020	Certificate of Occupancy	712 E Interstate 30,		\$75.00	\$0.00
11/20/2020	ISSUED	Rockwall, TX, 75087		1,790.00	

For the Period 11/1/2020 to 11/30/20

Permit Number	Permit Type	Site Address			
Application Date	Subtype	Parcel Number		Total Fees	
Issue Date	Status of Permit	Subdivision Name			
		Plan Number	Valuation	Total SQFT	Fees Paid
Contact Type	Contact Name	Contact Address			
Business Owner	The Customer Center of DFW, Inc.	One Odell Plaza, Suite 275	Yonkers	NY	10701
Property Owner	HP Rockwall LTD	7557 Rambler Rd. Suite 980	Dallas	TX	75231
Contractors					

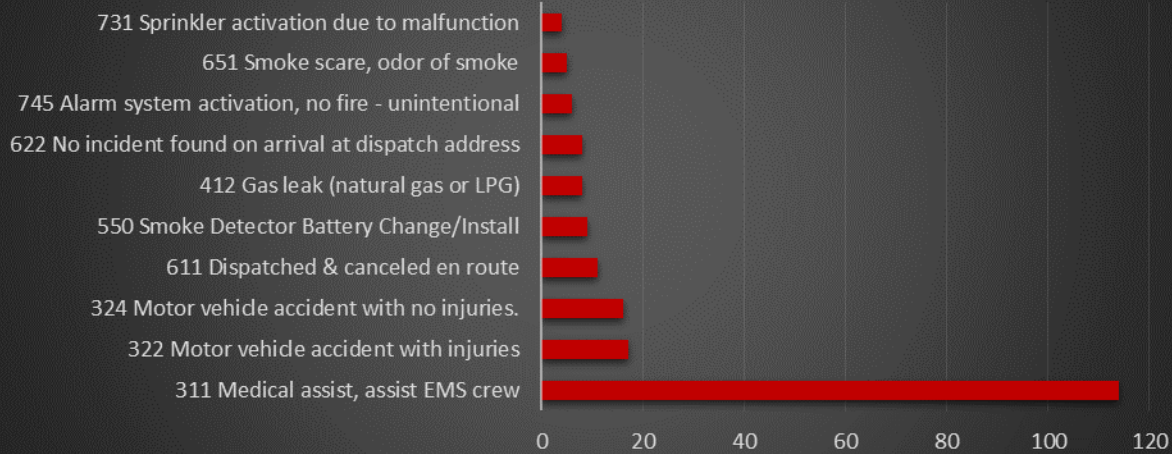
TCO2020-0010	Commercial Building Permit				
08/19/2020	Temporary Certificate of Occupancy	501 Industrial Blvd,		\$300.00	\$300.00
11/24/2020	ISSUED	Rockwall, TX 75087		79,373.00	

Contact Type	Contact Name	Contact Address			
Owner	ROCKWALL 12.833 LP	1480 Justin Rd	Rockwall	TX	75087
Historical	Zach Hill	MyCon General Contractors	Rockwall		
Historical	Shonda Laures	MyCon General Contractors	Rockwall		
Business Owner	SPR Packaging	1480 Justin Rd.	Rockwall	TX	75087
Business Owner	Carolina Molina	1480 Justin Rd.	Rockwall	TX	75087
Owner	SPR Packaging	1480 Justin Rd.	Rockwall	TX	75087
Applicant	Zach Hill	MyCon General Contractors	Rockwall		
Contractors					



November Monthly
Report 2020

Top 10 Call Types



Incident Types

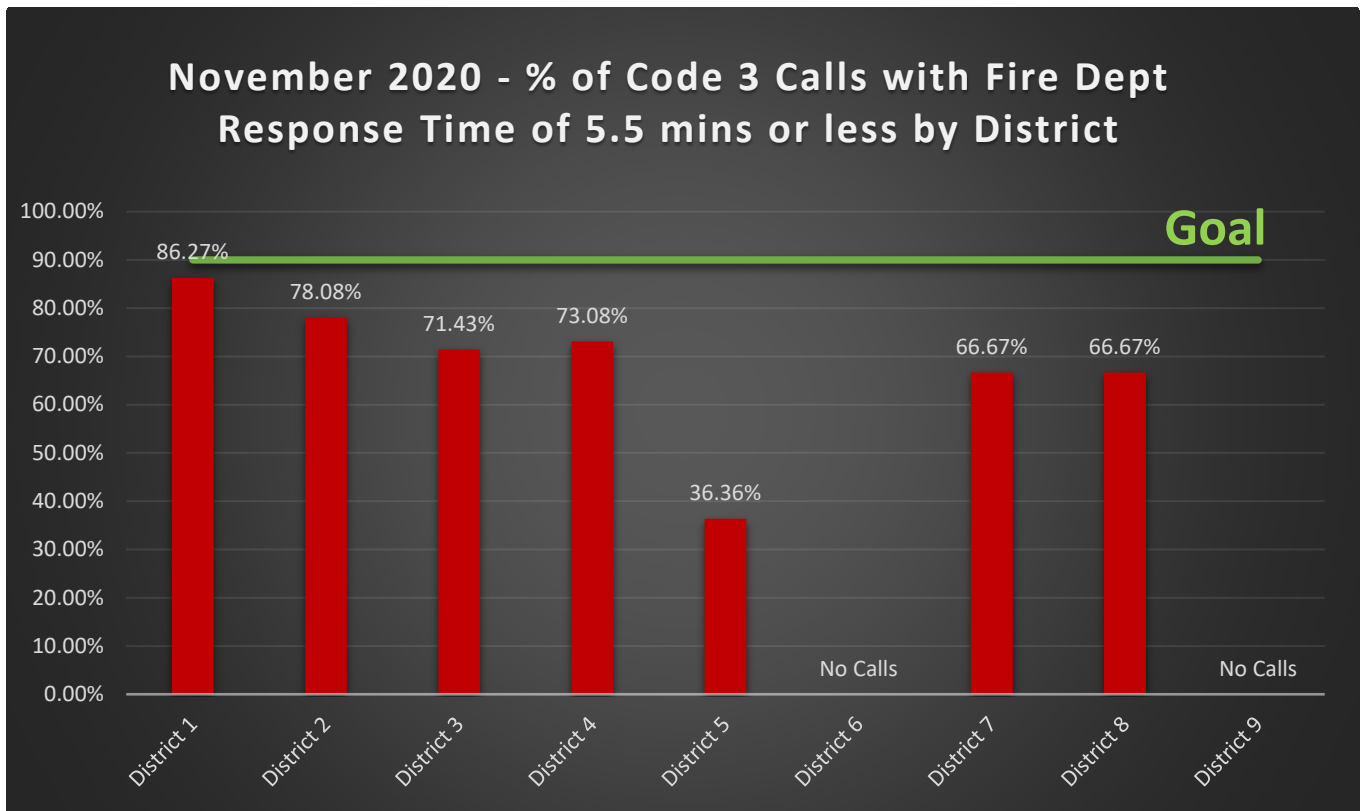


Incident Count

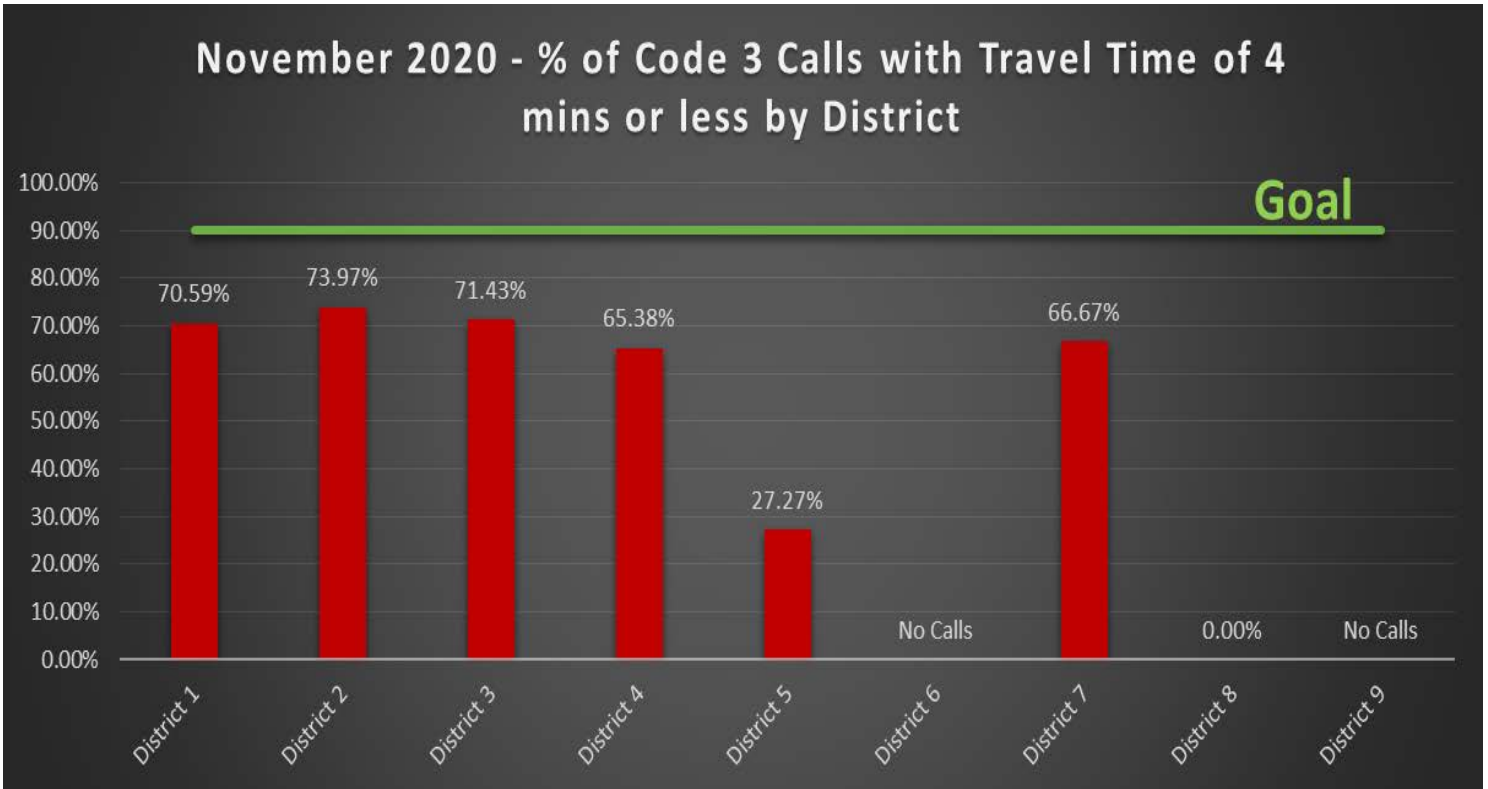
311 Medical assist, assist EMS crew	114
322 Motor vehicle accident with injuries	17
324 Motor vehicle accident with no injuries.	16
611 Dispatched & canceled en route	11
550 Smoke Detector Battery Change/Install	9
622 No incident found on arrival at dispatch address	8
412 Gas leak (natural gas or LPG)	8
745 Alarm system activation, no fire - unintentional	6
651 Smoke scare, odor of smoke	5
736 CO detector activation due to malfunction	4
731 Sprinkler activation due to malfunction	4
111 Building fire	3
743 Smoke detector activation, no fire - unintentional	3
131 Passenger vehicle fire (cars, pickups, SUV's)	3
700 False alarm or false call, other	2
143 Grass fire	2
735 Alarm system sounded due to malfunction	2
342 Search for person in water	2
113 Cooking fire, confined to container	1
323 Motor vehicle/pedestrian accident (MV Ped)	1
441 Heat from short circuit (wiring), defective/worn	1
112 Fires in structure other than in a building	1
444 Power line down	1
100 Fire, other	1
445 Arcing, shorted electrical equipment	1
542 Animal rescue	1
631 Authorized controlled burning	1
550 Public service assistance, other	1
661 EMS call, party transported by non-fire agency	1
151 Outside rubbish, trash or waste fire	1
710 Malicious, mischievous false call, other	1
118 Trash or rubbish fire, contained	1
733 Smoke detector activation due to malfunction	1
740 Unintentional transmission of alarm, other	1
350 Extrication, rescue, other	1
555 Defective elevator, no occupants	1
741 Sprinkler activation, no fire - unintentional	1
561 Unauthorized burning	1
132 Road freight or transport vehicle fire (Commercial Vehicle)	1
522 Water or steam leak	1
531 Smoke or odor removal	1
Grand Total	242

November 2020 Dispatch to Arrival Analysis

	Total Number of Calls	Percent of Runs per District	Number of Calls in 5.5 mins or Less	Average FD Response Time Minutes	% in 5.5 min or less	Goal of 90%
<u>District 1</u>	51	27.13%	44	0:04:13	86.27%	90%
<u>District 2</u>	73	38.83%	57	0:04:36	78.08%	90%
<u>District 3</u>	21	11.17%	15	0:04:12	71.43%	90%
<u>District 4</u>	26	13.83%	19	0:04:57	73.08%	90%
<u>District 5</u>	11	5.85%	4	0:05:47	36.36%	90%
<u>District 6</u>	0	0.00%	0	0:00:00	No Calls	90%
<u>District 7</u>	3	1.60%	2	0:04:40	66.67%	90%
<u>District 8</u>	3	1.60%	2	0:05:54	66.67%	90%
<u>District 9</u>	0	0.00%	0	0:00:00	No Calls	90%
<u>Department</u>	188	100.00%	143	0:04:35	76.06%	90%



November 2020 Travel Time



	Total Number of Calls	Percent of Runs per District	Number of Calls in 4 or Less	Average Travel Time Minutes	% in 4 min or less	Goal of 90%
<u>District 1</u>	51	27.13%	36	0:03:12	70.59%	90%
<u>District 2</u>	73	38.83%	54	0:03:29	73.97%	90%
<u>District 3</u>	21	11.17%	15	0:03:03	71.43%	90%
<u>District 4</u>	26	13.83%	17	0:03:48	65.38%	90%
<u>District 5</u>	11	5.85%	3	0:05:03	27.27%	90%
<u>District 6</u>	0	0.00%	0	0:00:00	No Calls	90%
<u>District 7</u>	3	1.60%	2	0:04:08	66.67%	90%
<u>District 8</u>	3	1.60%	0	0:05:09	0.00%	90%
<u>District 9</u>	0	0.00%	0	0:00:00	No Calls	90%
<u>Department</u>	188	100.00%	127	0:03:32	67.55%	90%



Total Dollar Losses

November 2020



City of Rockwall
The New Horizon

Rockwall Fire Department

Print Date/Time: 12/16/2020 16:06
Login ID: rck\ihatcher
Layer: All
Areas: All

ORI Number: TX504
Incident Type: All
Station: All

	Current Month	Last Month	Same Month Last Year	Year To Date	Last Year To Date
Total Property Loss:	\$2,501.00	\$2,149,842.50	\$23,656.00	\$2,384,957.50	\$529,871.00
Total Content Loss:	\$1.00	\$1,103,805.00	\$5,100.00	\$1,248,259.00	\$170,600.00
Total Property Pre-Incident Value:	\$1,992,541.00	\$57,022,060.00	\$251,760.00	\$90,145,013.00	\$6,027,289.92
Total Contents Pre-Incident Value	\$1.00	\$11,092,930.00	\$81,350.00	\$12,511,661.00	\$897,926.35
Total Losses:	\$2,502.00	\$3,253,647.50	\$28,756.00	\$3,633,216.50	\$2,502.00
Total Value:	\$1,992,542.00	\$68,114,990.00	\$333,110.00	\$102,656,674.00	\$6,925,216.27

NOVEMBER 2020 MONTHLY REPORT



**ROCKWALL PARKS
& RECREATION**

PARTICIPATION



FISHING DERBY, HARRY MYERS PARK NOV. 7, 74 PARTICIPANTS



ARBOR DAY CELEBRATION, THE PARK AT BREEZY HILL, 25 PEOPLE



SHOT CLINIC, HARRY MYERS COMMUNITY CENTER, NOVEMBER 7TH, 50 PEOPLE

MONTHLY OVERVIEW

NOV '20

Part Time Labor Hours	151
Program Offerings	6
Program Participants	534
Resident Participants	245
Non-Resident Participants	289
Programs that Made	6
Cancelled Programs	0
% of Programs Cancelled	0%

FEE BASED RESIDENT VS NON-RESIDENT

6 programs



RENTALS



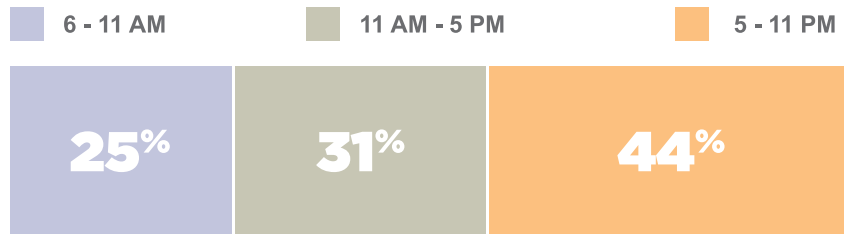
HMCC

NOV '20

<i>Time Blocks Rented</i>	55
<i>Monthly Revenue</i>	\$2200

HMCC RENTAL ACTIVITY BY TIME BLOCK

55 Rentals



PAVILIONS

NOV '20

<i>Time Blocks Rented</i>	22
<i>Monthly Revenue</i>	\$800

PAVILION RENTAL ACTIVITY BY TIME BLOCK

22 Rentals



PARKS



FACILITY UPGRADES:

New trail benches at Harry Myers Park

FACILITY UPGRADE:

Wind Slats at Harry Myers Pickleball Courts

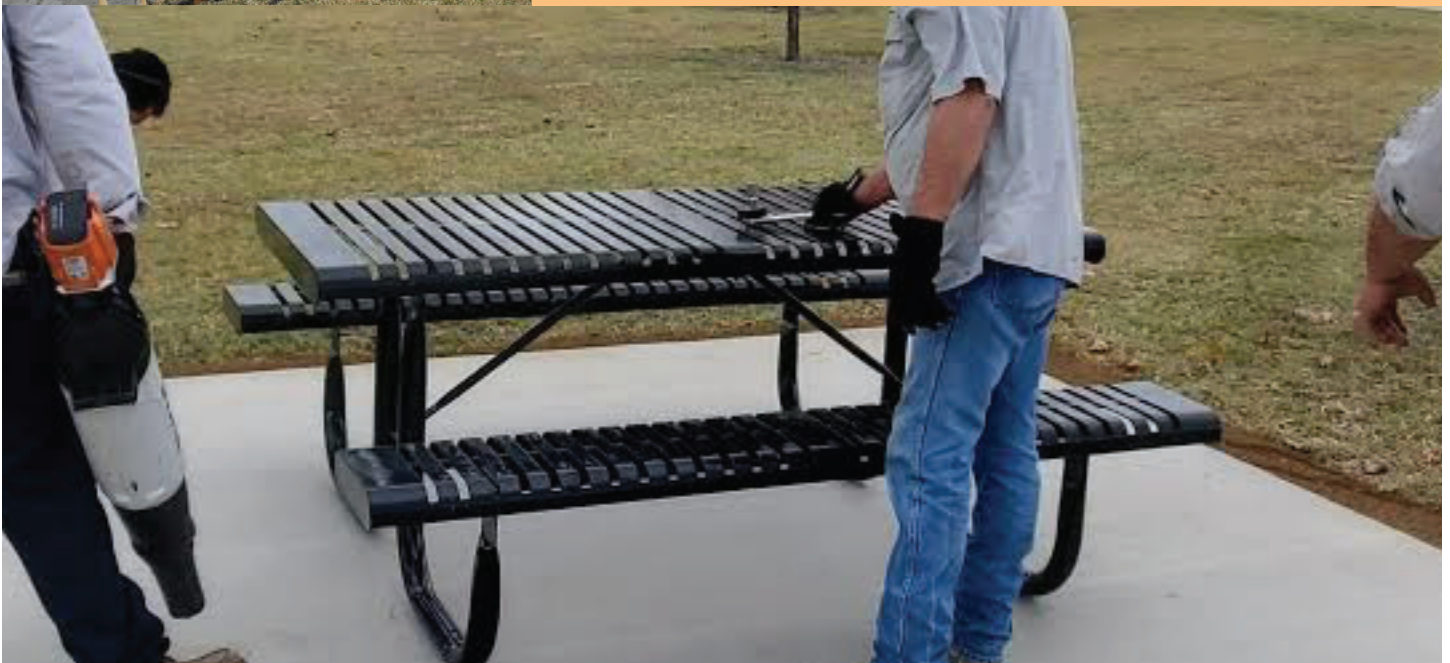


FACILITY RENOVATIONS:

Leon Tuttle off-season renovations

FACILITY RENOVATIONS:

New picnic tables at The Park at Stone Creek



MARKETING

FACEBOOK PAGE LIKES



OCT

GAIN OR LOSS

+25

NOV

+10

TOTAL LIKES THRU 11/30/2020



15,033

ONLINE REGISTRATION ACCOUNTS THROUGH ACTIVE

OCT

ACCOUNTS

9672

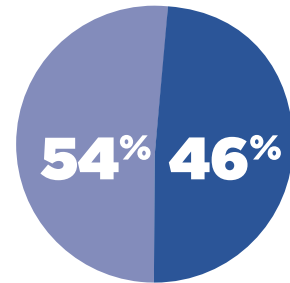
GAIN OR LOSS

+33

NOV

9696

+24



RESIDENT VS NON-RESIDENT ACCOUNTS

PLAYROCKWALL.COM PERFORMANCE METRICS

PLAYROCKWALL.COM

PAGEVIEWS

Pageviews represent the total individual pages viewed by visitors to playrockwall.com within the month of November 2020.

30,750

SESSIONS

Sessions represent an individual collection of a user's visit while viewing pages on playrockwall.com

6,751

USERS

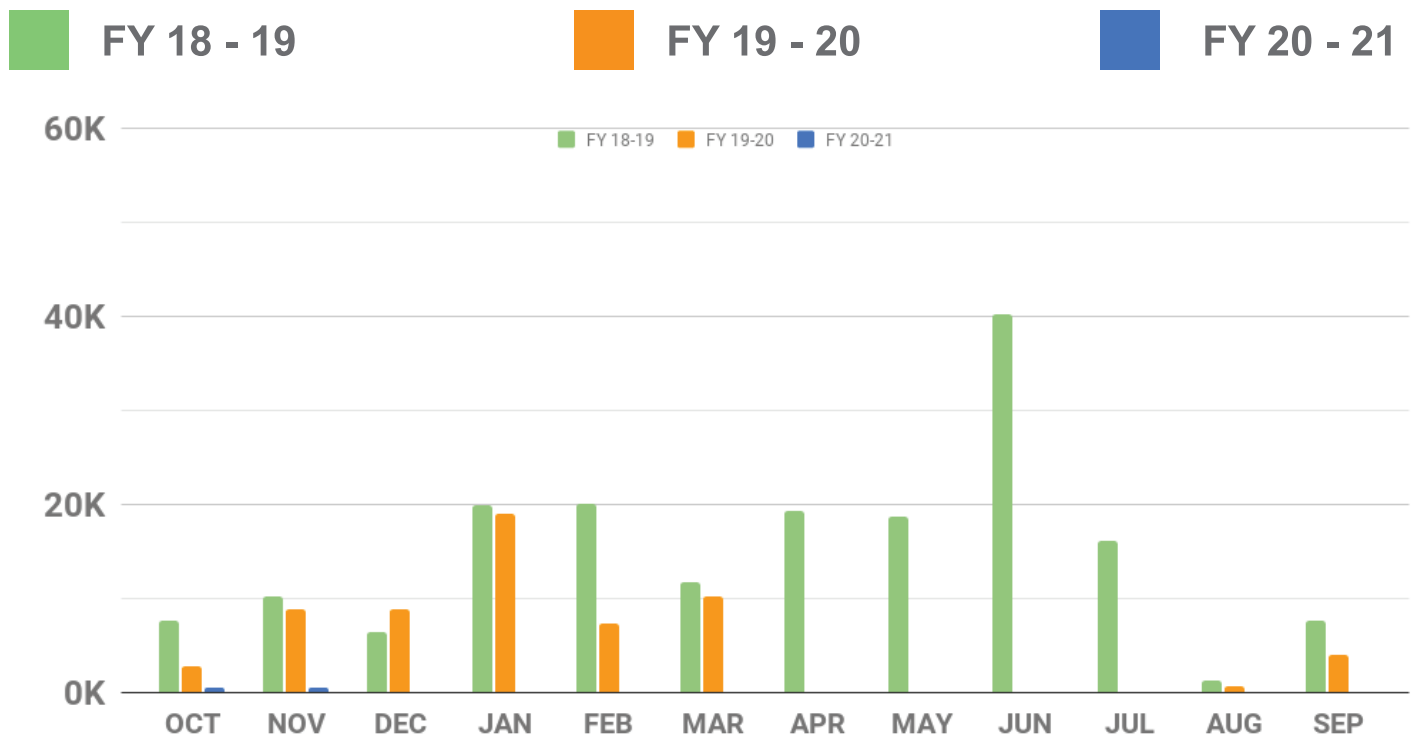
Visitors to playrockwall.com

5,278

REVENUE

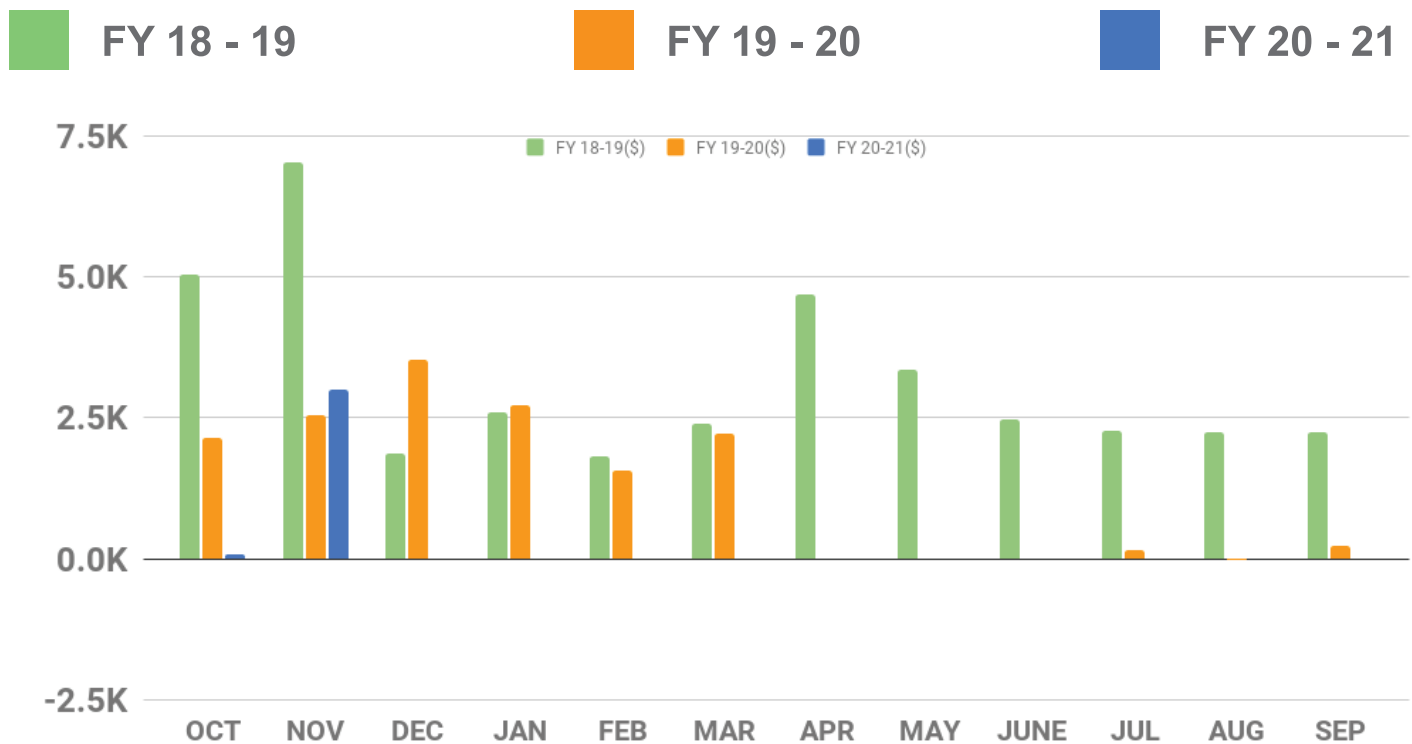
FEE BASED PROGRAM REVENUE BY MONTH

3 fiscal years



FACILITY REVENUE BY MONTH

3 fiscal years



Rockwall Police Department

Monthly Activity Report

November-2020

ACTIVITY	CURRENT MONTH NOVEMBER	PREVIOUS MONTH OCTOBER	YTD 2020	YTD 2019	YTD % CHANGE
----------	---------------------------	---------------------------	-------------	-------------	-----------------

PART 1 OFFENSES

Homicide / Manslaughter	0	0	0	0	0.00%
Sexual Assault	0	0	5	15	-66.67%
Robbery	0	4	14	8	75.00%
Aggravated Assault	1	2	25	21	19.05%
Burglary	2	7	56	55	1.82%
Larceny	58	78	671	589	13.92%
Motor Vehicle Theft	6	7	71	55	29.09%
TOTAL PART I	67	98	842	743	13.32%
TOTAL PART II	112	139	1368	1524	-10.24%
TOTAL OFFENSES	179	237	2210	2267	-2.51%

ADDITIONAL STATISTICS

FAMILY VIOLENCE	13	11	129	179	-27.93%
D.W.I.	17	13	137	192	-28.65%

ARRESTS

FELONY	34	34	307	335	-8.36%
MISDEMEANOR	63	61	564	693	-18.61%
WARRANT ARREST	5	5	90	120	-25.00%
JUVENILE	11	2	49	60	-18.33%
TOTAL ARRESTS	113	102	1010	1208	-16.39%

DISPATCH

CALLS FOR SERVICE	1523	1560	15752	16683	-5.58%
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ACCIDENTS

INJURY	6	1	100	104	-3.85%
NON-INJURY	53	78	532	700	-24.00%
FATALITY	0	2	3	0	300.00%
TOTAL	59	81	635	804	-21.02%

FALSE ALARMS

RESIDENT ALARMS	42	47	475	603	-21.23%
BUSINESS ALARMS	115	133	1429	1424	0.35%
TOTAL FALSE ALARMS	157	180	1904	2027	-6.07%
Estimated Lost Hours	103.62	118.8	1256.64	1337.82	-6.07%
Estimated Cost	\$2,464.90	\$2,826.00	\$29,892.80	\$31,823.90	-6.07%

ROCKWALL NARCOTICS UNIT

	Number of Cases	1
	Arrests	5
	Arrest Warrants	
	Search Warrants	
	Seized	
	Heroin	10kg
	Methamphetamine	3.1g

Total Offenses			
Month	Total Part I Crimes	Total Part II Crimes	Total Crimes
January-19	65	154	219
February-19	55	132	187
March-19	52	153	205
April-19	51	140	191
May-19	83	147	230
June-19	58	109	167
July-19	96	108	204
August-19	80	122	202
September-19	61	173	234
October-19	63	129	192
November-19	80	157	237
December-19	71	157	228
Totals	815	1681	2496
January-20	78	130	208
February-20	70	112	182
March-20	62	134	196
April-20	52	78	130
May-20	56	138	194
June-20	62	119	181
July-20	91	141	232
August-20	116	139	255
September-20	90	126	216
October-20	98	139	237
November-20	67	112	179
December-20			0
Totals	842	1368	2210

Crime Index per 1,000 population			
Month	Total Part I Crimes	Population Estimate	Crime Index
January-19	65	44,123	1.5
February-19	55	44,188	1.2
March-19	52	44,257	1.2
April-19	51	44,350	1.1
May-19	83	44,425	1.9
June-19	58	44,542	1.3
July-19	96	44,632	2.2
August-19	80	44,658	1.8
September-19	61	44,710	1.4
October-19	63	44,767	1.4
November-19	80	44,924	1.8
December-19	71	44,966	1.6
Average	67.9	Average	1.5
January-20	78	44,982	1.7
February-20	70	45,044	1.6
March-20	62	45,124	1.4
April-20	52	45,186	1.2
May-20	56	45,261	1.2
June-20	62	45,318	1.4
July-20	91	45,367	2.0
August-20	116	45,413	2.6
September-20	90	45,462	2.0
October-20	98	45,511	2.2
November-20	67	45,773	1.5
December-20			0.0
Average	76.5	Average	1.7

The City of Rockwall Crime Index is calculated by taking the UCR Part I crimes and comparing them with the City of Rockwall's estimated population.

Violent Crimes			
Month	Total Violent Crimes	Population	Crime Index / 1000 population
January-19	4	44,123	0.09
February-19	4	44,188	0.09
March-19	3	44,257	0.07
April-19	3	44,350	0.07
May-19	6	44,425	0.14
June-19	6	44,542	0.13
July-19	8	44,632	0.18
August-19	3	44,658	0.07
September-19	5	44,710	0.11
October-19	2	44,767	0.04
November-19	0	44,924	0.00
December-19	4	44,966	0.09
Total	48	Average	0.09
January-20	6	44,126	0.14
February-20	1	45,044	0.02
March-20	3	45,124	0.07
April-20	4	45,186	0.09
May-20	5	45,261	0.11
June-20	4	45,318	0.09
July-20	4	45,367	0.09
August-20	5	45,413	0.11
September-20	7	45,462	0.15
October-20	6	45,511	0.13
November-20	1	45,773	0.02
December-20			0.00
Total	46	Average	0.00
Property Crimes			
Month	Total Property Crimes	Population	Crime Index / 1000 population
January-19	84	44,123	1.90
February-19	54	44,188	1.22
March-19	56	44,257	1.27
April-19	52	44,350	1.17
May-19	89	44,425	2.00
June-19	63	44,542	1.41
July-19	98	44,632	2.20
August-19	89	44,658	1.99
September-19	88	44,710	1.97
October-19	69	44,767	1.54
November-19	95	44,924	2.11
December-19	75	44,966	1.67
Total	912	Average	1.71
January-20	87	44,982	1.93
February-20	81	45,044	1.80
March-20	68	45,124	1.51
April-20	57	45,186	1.26
May-20	68	45,261	1.50
June-20	70	45,318	1.54
July-20	107	45,367	2.36
August-20	126	45,413	2.77
September-20	96	45,462	2.11
October-20	105	45,511	2.31
November-20	74	45,773	1.62
December-20			0.00
Total	939	Average	0.00

Rockwall Police Department

Dispatch and Response Times

November 2020

Police Department

Average Response Time		
Priority 1		Number of Calls 114
Call to Dispatch	0:00:47	
Call to Arrival	0:05:50	
% over 7 minutes	22%	

Average Response Time		
Priority 2		Number of Calls 215
Call to Dispatch	0:04:17	
Call to Arrival	0:12:04	
% over 7 minutes	47%	

Average Response Time		
Priority 3		Number of Calls 75
Call to Dispatch	0:04:49	
Call to Arrival	0:11:39	
% over 7 minutes	44%	

Average dispatch response time goals are as follows:

Priority 1: 1 Minute

Priority 2: 1 Minute, 30 Seconds

Priority 3: 3 Minutes

Rockwall Police Detective Case Status Statistics

January-20	Detective Name	Total Cases Assigned	Open Cases	Unfounded	Suspended	Except Clear	Clear Arrest	Filed DA	Total Cases Solved	% of Cases Solved	Days Worked on Cases	Daily Case Load
	Laurie Burks	13	8	3	2		4	3	7	53.85%	16	0.81
	Jalena Page	21	19	4	10	3	4	10	17	80.95%	13	1.62
	Steve Tigert	25	17		13		1		1	4.00%	13	1.92
	Kevin Tilley	27	26	4	4		2		2	7.41%	16	1.69
	John Tinsley	26	23		1		1	4	5	19.23%	17	1.53
	Phillip Young	8	5	2			4		4	50.00%	15	0.53
	Monthly Totals	120	98	13	30	3	16	17	36	30.00%	90	1.35
February-20	Detective Name	Total Cases Assigned	Open Cases	Unfounded	Suspended	Except Clear	Clear Arrest	Filed DA	Total Cases Solved	% of Cases Solved	Days Worked on Cases	Daily Case Load
	Laurie Burks	9	5	4			4	4	8	88.89%	14	0.64
	Jalena Page	25	20	3	11	1	1	7	9	36.00%	15	1.67
	Steve Tigert	25	24	18	21			2	2	8.00%	15	1.67
	Kevin Tilley	35	21	6	8			1	1	2.86%	14	2.50
	John Tinsley	23	18	3	4		1	3	4	17.39%	10	2.30
	Phillip Young	8	8		1		1		1	12.50%	15	0.53
	Monthly Totals	125	96	34	45	1	7	17	25	20.00%	83	1.55
March-20	Detective Name	Total Cases Assigned	Open Cases	Unfounded	Suspended	Except Clear	Clear Arrest	Filed DA	Total Cases Solved	% of Cases Solved	Days Worked on Cases	Daily Case Load
	Laurie Burks	18	7	6	1		2	5	7	38.89%	17	1.06
	Jalena Page	18	5	2	13	2	1	7	10	55.56%	14	1.29
	Steve Tigert	29	16	6	16		1	2	3	10.34%	15	1.93
	Kevin Tilley	23	15		8		1		1	4.35%	15	1.53
	John Tinsley	28	17	4	4	3		3	6	21.43%	17	1.65
	Phillip Young	14	10	4			1		1	7.14%	12	1.17
	Monthly Totals	130	70	22	42	5	6	17	28	21.54%	90	1.44
April-20	Detective Name	Total Cases Assigned	Open Cases	Unfounded	Suspended	Except Clear	Clear Arrest	Filed DA	Total Cases Solved	% of Cases Solved	Days Worked on Cases	Daily Case Load
	Laurie Burks	14	5	1			3		3	21.43%	16	0.88
	Jalena Page	15	1	1	2				0	0.00%	17	0.88
	Steve Tigert	21	2	1	1				0	0.00%	16	1.31
	Kevin Tilley	26	4	2			1	1	2	7.69%	17	1.53
	John Tinsley	19	5	1		1		1	2	10.53%	16	1.19
	Phillip Young	6	4					1	1	16.67%	18	0.33
	Monthly Totals	101	21	6	3	1	4	3	8	7.92%	100	1.02

May-20	Detective Name	Total Cases Assigned	Open Cases	Unfounded	Suspended	Except Clear	Clear Arrest	Filed DA	Total Cases Solved	% of Cases Solved	Days Worked on Cases	Daily Case Load
	Laurie Burks	14	12	7			8	6	14	100.00%	16	0.88
	Jalena Page	15	15	4	6	2			2	13.33%	14	1.07
	Steve Tigert	21	6	2	11			2	2	9.52%	15	1.40
	Kevin Tilley	26	19	5			1	2	3	11.54%	15	1.73
	John Tinsley	19	17	3	6	1		6	7	36.84%	17	1.12
	Phillip Young	6	15				1	1	2	33.33%	16	0.38
	Monthly Totals	101	84	21	23	3	10	17	30	29.70%	93	1.10
June-20	Detective Name	Total Cases Assigned	Open Cases	Unfounded	Suspended	Except Clear	Clear Arrest	Filed DA	Total Cases Solved	% of Cases Solved	Days Worked on Cases	Daily Case Load
	Laurie Burks	12	7	7	1	1	7	3	11	91.67%	18	0.67
	Jalena Page	32	12	12	13	1	2	3	6	18.75%	16	2.00
	Steve Tigert	22	14		17	2	2	2	6	27.27%	17	1.29
	Kevin Tilley	22	14	5	2		3	3	6	27.27%	16	1.38
	John Tinsley	23	13	1	5		1	5	6	26.09%	18	1.28
	Phillip Young	12	12						0	0.00%	15	0.80
	Monthly Totals	123							0	0.00%	100	1.24
6 Month Totals												
	700	369	96	143	13	43	71	127	18.14%	556	1.28	
July-20	Detective Name	Total Cases Assigned	Open Cases	Unfounded	Suspended	Except Clear	Clear Arrest	Filed DA	Total Cases Solved	% of Cases Solved	Days Worked on Cases	Daily Case Load
	Laurie Burks	19	11	1	13		5	3	8	42.11%	18	1.06
	Jalena Page	33	23	7			1	7	8	24.24%	16	2.06
	Steve Tigert	21	8	4	29		2	4	6	28.57%	17	1.24
	Kevin Tilley	27	13	9	7			3	3	11.11%	17	1.59
	John Tinsley	35	22		7		3	4	7	20.00%	18	1.94
	Phillip Young	10	10		1			1	1	10.00%	11	0.91
	Monthly Totals	145	87	21	57	0	11	22	33	22.76%	97	1.47
August-20	Detective Name	Total Cases Assigned	Open Cases	Unfounded	Suspended	Except Clear	Clear Arrest	Filed DA	Total Cases Solved	% of Cases Solved	Days Worked on Cases	Daily Case Load
	Laurie Burks	13	8	3			2	4	6	46.15%	9	1.44
	Jalena Page	32	26	6	11	1	4	8	13	40.63%	14	2.29
	Steve Tigert	27	25	1	8			2	2	7.41%	10	2.70
	Kevin Tilley	26	23		3	2		2	4	15.38%	16	1.63
	John Tinsley	39	30				10	5	15	38.46%	16	2.44
	Phillip Young	13	13					1	1	7.69%	17	0.76
	Monthly Totals	150	125	10	22	3	16	22	41	27.33%	82	1.88

160

September-20	Detective Name	Total Cases Assigned	Open Cases	Unfounded	Suspended	Except Clear	Clear Arrest	Filed DA	Total Cases Solved	% of Cases Solved	Days Worked on Cases	Daily Case Load
	Laurie Burks	17	10	4		1	1	5	7	41.18%	17	1.00
	Jalena Page	30	21	8	21	1	1	8	10	33.33%	18	1.67
	Steve Tigert	24	19	1	13			1	1	4.17%	10	2.40
	Kevin Tilley	22	12	5	4			4	4	18.18%	18	1.22
	John Tinsley	29	15	4	5	1		4	5	17.24%	16	1.81
	Phillip Young	17	14	1	1			2	2	11.76%	18	0.94
	Monthly Totals	139	91	23	44	3	2	24	29	20.86%	97	1.51

October-20	Detective Name	Total Cases Assigned	Open Cases	Unfounded	Suspended	Except Clear	Clear Arrest	Filed DA	Total Cases Solved	% of Cases Solved	Days Worked on Cases	Daily Case Load
	Laurie Burks	13	6	1			2	9	11	84.62%	16	0.81
	Jalena Page	30	16	14	10	3	2	11	16	53.33%	16	1.88
	Steve Tigert	27	21	3	14	1		3	4	14.81%	15	1.80
	Kevin Tilley	31	24	4	3	2		4	6	19.35%	18	1.72
	John Tinsley	29	17	2	1	5	5	2	12	41.38%	14	2.07
	Phillip Young	27	11	3		8	1	7	16	59.26%	17	1.59
	Monthly Totals	157	95	27	28	19	10	36	65	41.40%	96	1.64

November-20	Detective Name	Total Cases Assigned	Open Cases	Unfounded	Suspended	Except Clear	Clear Arrest	Filed DA	Total Cases Solved	% of Cases Solved	Days Worked on Cases	Daily Case Load
	Laurie Burks	13	12	3			2	7	9	69.23%	14	0.93
	Jalena Page	30	23	6	8		2	11	13	43.33%	12	2.50
	Steve Tigert	27	19	8	12	1	1	3	5	18.52%	15	1.80
	Kevin Tilley	31	17	2	1		2	3	5	16.13%	11	2.82
	John Tinsley	29	18	2		2		3	5	17.24%	15	1.93
	Phillip Young	27	6		2		1	1	2	7.41%	13	2.08
	Monthly Totals	157	95	21	23	3	8	28	39	24.84%	80	2.01

December-20	Detective Name	Total Cases Assigned	Open Cases	Unfounded	Suspended	Except Clear	Clear Arrest	Filed DA	Total Cases Solved	% of Cases Solved	Days Worked on Cases	Daily Case Load
	Laurie Burks								0	--		--
	Jalena Page								0	--		--
	Steve Tigert								0	--		--
	Kevin Tilley								0	--		--
	John Tinsley								0	--		--
	Phillip Young								0	--		--
	Monthly Totals	0							0	--		0.00

161											
Yearly Totals	1448	862	198	317	41	90	203	334	23.07%	1008	2.70

Detective Yearly Totals 2020	Detective Name	Total Cases Assigned	Open Cases	Unfounded	Suspended	Except Clear	Clear Arrest	Filed DA	Total Cases Solved	% of Cases Solved	Days Worked on Cases	Daily Case Load
	Laurie Burks	155	91	40	17	2	40	49	91	58.71%	171	0.91
	Jalena Page	251	181	67	105	14	18	72	104	41.43%	165	1.52
	Steve Tigert	269	171	44	155	4	7	21	32	11.90%	158	1.70
	Kevin Tilley	296	188	42	40	4	10	23	37	12.50%	173	1.71
	John Tinsley	299	195	20	33	13	21	40	74	24.75%	174	1.72
	Phillip Young	148	108	10	5	8	9	14	31	20.95%	167	0.89
	Totals	1418	934	223	355	45	105	219	369	26.02%	1008	2.70

November-20

Crimes Against Persons

Crime	Total Number November	Total Cleared November	Clearance Rate November	Total YTD	Cleared YTD	Clearance Rate YTD
Murder	0	0	0%	0	0	0%
Aggravated Assault	1	0	0%	22	10	45%
Simple Assault	5	3	60%	67	33	49%
Robbery	0	0	0%	13	9	69%
Sex Offenses	0	0	0%	11	6	55%

Property Crimes

Crime	Total Number November	Total Cleared November	Clearance Rate November	Total YTD	Cleared YTD	Clearance Rate YTD
Motor Vehicle Theft	5	1	20%	53	23	43%
BMW	3	1	33%	128	48	38%
Burglary	1	0	0%	46	4	9%
Larceny	38	1	3%	373	72	19%
Criminal Mischief	6	0	0%	83	27	33%

Financial Crimes

Crime	Total Number November	Total Cleared November	Clearance Rate November	Total YTD	Cleared YTD	Clearance Rate YTD
Forgery	1	1	100%	23	9	39%
ID Thefts	5	1	20%	36	6	17%
Credit/Debit Card Abuse	4	1	25%	34	9	26%

**Rockwall Police Narcotics Unit
2020 - Statistics**

Activity	January	Feburary	March	April	May	June	July	August	September	October	November	December	Totals	
Cases	8	6	5	4	6	7	7	9	7	5	1		65	
Arrests	7	3	7	7	6	5	7	8	4	8	5		67	
Assist other Agencies	3	3	4	1	3	2	1	2	4	4	4		31	
Search Warrants	2	1	3			2	2	2	2	2	0		16	
Arrest Warrants		2	3	1	2	3	1	1		1	0		14	
Drugs Seized														
PCP (ounces)													0	Pounds
Marijuana (ounces)	3	15	1.25	7.75	1	12.5	7	22.4	1	10			5.06	Pounds
Cocaine (grams)	2500	28.6	227.2		4	2000	29	1	6.5	28			4824.3	grams
Methamphetamine (grams)	1002	29.6	180			148000	12	46.1		2886	10,026		162.18	Kilograms
Heroin (grams)		1			31.9			40.6			3.1		76.6	grams
Ecstasy (grams)			4	19	8.3								31.3	grams
Adderall (grams)							10						10	grams
Xanax (pills)		4	1525		34	21	20	110					1714	pills
Hydrocodone (pills)			250		25		30			1040			1345	pills
Dangerous Drugs (pills)			50										50	pills
Clenbuterol													0	grams
Steroids (grams)		6						23.3					29.3	grams
Lysergic Acid					5								5	units
Hashish (ounces)													0.00	Pounds
Synthetic Marijuana (ounces)													0.00	Pounds
MDMA (grams)									53				53	Grams
THC Oil (grams)		8		156		15	32	51					262	Grams
Recovered Stolen Vehicle			1				1						2	Vehicles
Weapons Seized	5		3	1		7	2	4		7			29	Weapons
Equipment Seized													0	Total Equipment
Money Seized						\$5,346	\$6,865						\$12,211	
Vehicles Seized	3					2							5	

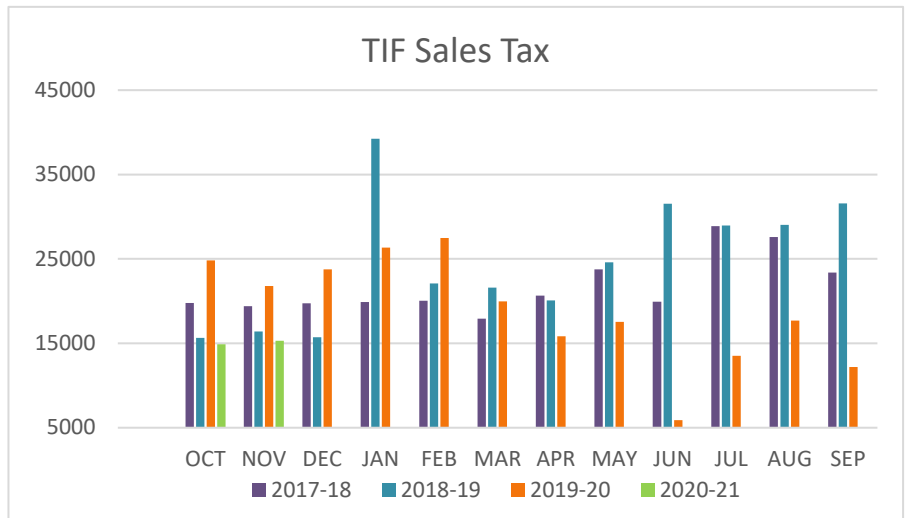
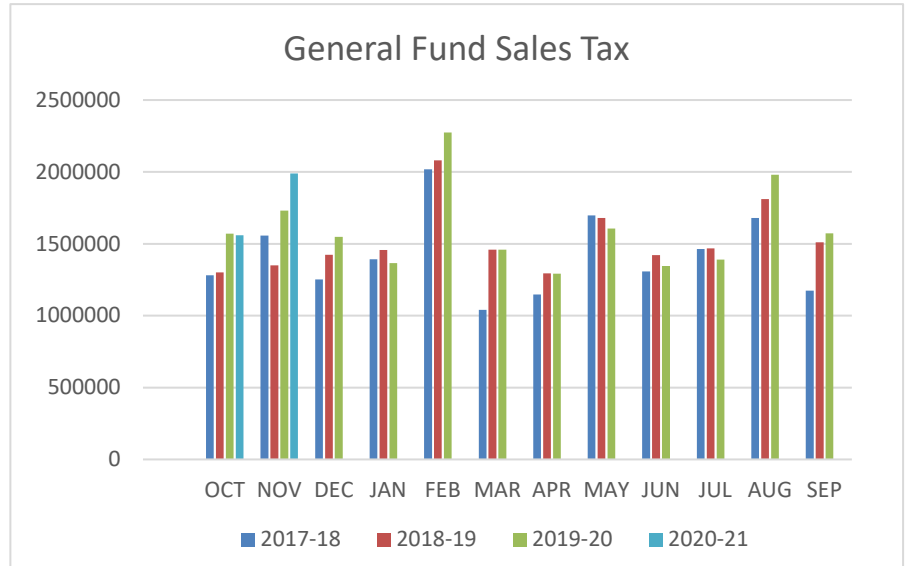
ROCKWALL POLICE DEPARTMENT-NOVEMBER 2020

OFFICERS MONTHLY BREAKDOWNS				
WILLIAMSON	MONTH REPORT		ANNUAL REPORT	
	Total	Recovered	Total	Recovered
Arrests:	0	\$ -	0	\$ -
On-Line:	0	\$ -	0	\$ -
Transfers	0	\$ -	0	\$ -
Bonds:	0	\$ -	0	\$ -
Jail Time Serve:	0	\$ -	0	\$ -
Mail:	0	\$ -	0	\$ -
Window:	0	\$ -	0	\$ -
Payment Plans:	0	\$ -	0	\$ -
Dismissals	0	\$ -	0	\$ -
*** Warrants Cleared	0	0	0	\$ -
TIME BREAKDOWN			0	0
			0	0
	WILLIAMSON		ANNUAL AMOUNT	
	# Served	Hours Managed	# Served	Hours Managed
Summons	0	0	#REF!	0
Subpoenas	0	0	#REF!	0
Transfers	0	0	0	0
Bailiff		0		0
General Office		0		0
Warrants		0		0
Total Time Consumed:	0	0	#REF!	0

By DEPARTMENT as a WHOLE				
0 0				
	THIS MONTH		ANNUALLY 20??	
	# of Cases	Recovered	# of Cases	Recovered
Arrests:	0	\$ -	0	\$ -
On-Line:	0	\$ -	0	\$ -
Transfers:	0	\$ -	0	\$ -
Bonds:	0	\$ -	0	\$ -
Jail Time Serve:	0	\$ -	0	\$ -
Mail:	0	\$ -	0	\$ -
Window:	0	\$ -	0	\$ -
Payment Plans:	0	\$ -	0	\$ -
Dismissals:	0	\$ -	0	\$ -
Warrants Cleared:	0	0	0	0
New Warrants Received:	196	61380	1320	407433.14
PURGED WARRANTS	0	0	0	0

Sales Tax Collections - Rolling 36 Months

	<u>General Fund</u> Sales Tax	<u>TIF</u> Sales Tax
Dec-17	1,252,959	19,732
Jan-18	1,391,833	19,914
Feb-18	2,017,684	20,041
Mar-18	1,039,380	17,922
Apr-18	1,146,873	20,655
May-18	1,697,970	23,752
Jun-18	1,308,372	19,941
Jul-18	1,463,243	28,867
Aug-18	1,679,728	27,594
Sep-18	1,174,074	23,370
Oct-18	1,301,342	15,641
Nov-18	1,349,253	16,403
Dec-18	1,423,386	15,708
Jan-19	1,457,584	39,247
Feb-19	2,080,043	22,109
Mar-19	1,459,018	21,606
Apr-19	1,293,524	20,077
May-19	1,679,076	24,582
Jun-19	1,420,483	31,523
Jul-19	1,467,376	28,951
Aug-19	1,810,970	29,022
Sep-19	1,478,622	31,577
Oct-19	1,565,868	24,818
Nov-19	1,730,541	21,787
Dec-19	1,547,746	23,781
Jan-20	1,365,040	26,330
Feb-20	2,273,520	27,472
Mar-20	1,458,193	19,955
Apr-20	1,292,639	15,829
May-20	1,605,986	17,538
Jun-20	1,345,598	5,881
Jul-20	1,376,026	13,529
Aug-20	1,979,539	17,706
Sep-20	1,573,352	12,179
Oct-20	1,558,570	14,888
Nov-20	1,989,955	15,299



Notes:
 75% of total sales tax collected is deposited to the General Fund each month
 Comptroller tracks sales tax generated in the TIF and reports it monthly
 75% of TIF sales tax (city share) is pledged to the TIF

Monthly Water Consumption - Rolling 27 Months

	<u>Total Gallons</u>	<u>Daily Average</u>	<u>Maximum Day</u>
Sep-18	304,052,374	10,135,080	19,307,450
Oct-18	240,262,264	7,750,396	10,191,580
Nov-18	194,498,356	6,483,279	7,438,044
Dec-18	186,450,313	6,014,526	7,818,894
Jan-19	222,027,420	7,162,175	13,160,330
Feb-19	166,796,311	5,957,011	7,181,853
Mar-19	216,172,991	6,973,323	8,899,546
Apr-19	230,304,224	7,676,809	9,546,692
May-19	246,447,588	7,949,923	10,806,480
Jun-19	273,477,588	9,115,919	12,818,660
Jul-19	479,403,830	15,464,640	19,686,560
Aug-19	557,577,730	17,986,380	20,877,020
Sep-19	480,076,300	16,002,544	19,898,562
Oct-19	377,192,895	12,167,513	17,708,812
Nov-19	237,328,307	7,910,944	9,218,867
Dec-19	229,083,044	7,389,776	8,396,266
Jan-20	215,978,847	6,967,060	8,691,306
Feb-20	196,611,134	6,779,695	7,579,604
Mar-20	197,281,791	6,363,929	8,569,168
Apr-20	226,508,245	7,550,275	10,263,848
May-20	317,650,425	10,246,788	13,193,218
Jun-20	455,022,410	15,167,411	20,100,668
Jul-20	511,667,880	16,505,415	20,073,454
Aug-20	590,693,550	19,054,630	22,031,522
Sep-20	363,112,688	12,103,756	14,870,959
Oct-20	397,801,934	12,832,320	15,751,199
Nov-20	295,091,494	9,836,383	11,452,738

Source: SCADA Monthly Reports generated at the Water Pump Stations

